

GENERAL NOTES

A. GENERAL NOTES

1. ARCHITECT MAKES NO WARRANTY, EITHER EXPRESS OR IMPLIED, AS TO HIS FINDINGS, RECOMMENDATIONS, SPECIFICATIONS, OR PROFESSIONAL ADVICE OR SERVICES EXCEPT THAT THEY WERE PROMULGATED OR RENDERED IN ACCORDANCE WITH GENERALLY ACCEPTED ARCHITECTURAL PRACTICES AND UNDER THE DIRECTION OF PROFESSIONAL REGISTERED ARCHITECTS. AS INSTRUMENTS OF SERVICE, THE ARCHITECT'S DRAWINGS AND SPECIFICATIONS ARE NOT 100% COMPLETE OF THEMSELVES, AND ARCHITECT'S CONTINUED SERVICES AND CONSTRUCTION ADMINISTRATION/OBSERVATION ARE REQUIRED FOR COMPLETE INTERPRETATION AND APPLICATION TO A SPECIFIC PROJECT. OWNER AND CONTRACTOR HEREBY ACKNOWLEDGE USE OF THE DRAWINGS AND/OR SPECIFICATIONS WITHOUT ARCHITECT'S INVOLVEMENT IN CONSTRUCTION ADMINISTRATION/OBSERVATION, AND PRIOR APPROVAL OF ALL CHANGES AND/OR MODIFICATIONS SHALL THEREBY RELIEVE ARCHITECT OF ALL LIABILITY ASSOCIATED WITH CHANGES OR MODIFICATIONS TO THE PROJECT MADE DURING THE CONSTRUCTION PROCESS. OWNER AND CONTRACTOR HEREBY FURTHER WARRANTS THAT ARCHITECT SHALL NOT BE HELD RESPONSIBLE FOR THE SUBSEQUENT USE OF THE DRAWINGS AND/OR SPECIFICATIONS OR ADVICE OF OTHERS DURING CONSTRUCTION WORK WHICH WAS NOT PERFORMED UNDER ARCHITECT'S SCOPE OF ADMINISTRATIVE SERVICES.
2. INTERPRETATION OF DRAWINGS AND DOCUMENTS: EACH CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT THE PROJECT SITE BEFORE EXECUTING ANY WORK AND SHALL NOTIFY THE OWNER AND THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING. THE ARCHITECT SHALL BE NOTIFIED OF ANY UNUSUAL OR UNFORESEEN CONDITIONS OR SITUATIONS WHICH MAY AFFECT THE STRUCTURAL INTEGRITY OR SAFETY OF THE PROJECT.
3. ADHERENCE TO PLANS: STRICT ADHERENCE TO THE CONSTRUCTION DOCUMENTS MUST BE MAINTAINED. NO CHANGES SHALL BE MADE IN THE PROJECT WHICH DEViate FROM THE PLANS AND SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF THE OWNER. NO STRUCTURAL CHANGES SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
4. WORKING DRAWING: FIGURED DIMENSIONS AND DETAILED DRAWINGS SHALL BE FOLLOWED IN PREFERENCE TO SCALE MEASUREMENTS. IN CASE OF ANY DOUBT ON THE PART OF THE CONTRACTOR AS TO THE EXACT MEANING OF THE DRAWINGS AND THESE SPECIFICATIONS, HE SHALL APPLY TO THE ARCHITECT FOR AN INTERPRETATION BEFORE PROCEEDING WITH HIS WORK.
5. SHOP DRAWINGS: CONTRACTOR SHALL SUBMIT COPIES OF ALL SHOP DRAWINGS FOR REVIEW BY ARCHITECT PRIOR TO CONTRACTOR'S APPROVAL FOR CONSTRUCTION.
6. THE CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING REQUIRED TO PROTECT PERSONNEL AND ADJACENT PROPERTY AND TO INSURE SAFETY OF THE PROJECT WORK.
7. WHEREVER IN THESE DRAWINGS ANY MATERIAL OR PROCESS IS INDICATED, IT IS FOR THE PURPOSE OF FACILITATING DESCRIPTION OF THE MATERIAL OR PROCESS DESIRED. THE CONTRACTOR MAY OFFER ANY MATERIAL OR PROCESS WHICH SHALL BE DEEMED EQUIVALENT BY THE ENGINEER AND THE ARCHITECT TO THAT MATERIAL OR PROCESS INDICATED OR SPECIFIED.
8. UNLESS OTHERWISE SPECIFIED, ALL MATERIALS SHALL BE NEW AND BOTH WORKMANSHIP AND MATERIALS SHALL BE THE BEST OF THEIR RESPECTIVE KINDS. THE CONTRACTOR SHALL, IF REQUIRED, FURNISH SATISFACTORY EVIDENCE AS THE KIND AND QUALITY OF MATERIALS.
9. IT SHALL BE THE DUTY OF THE GENERAL CONTRACTOR TO SEE THAT ALL SUB-CONTRACTORS ARE FULLY INFORMED IN REGARD TO THE GENERAL CONDITIONS AND PRELIMINARY SPECIFICATIONS.

B. PERMITS AND REGULATIONS

1. EACH CONTRACTOR SHALL PAY FOR AND OBTAIN ALL PERMITS REQUIRED BY LOCAL AUTHORITIES BEFORE PROCEEDING WITH HIS RESPECTIVE INSTALLATION AND SHALL ARRANGE AND PAY FOR ANY INSPECTIONS AND EXAMINATIONS REQUIRED BY THOSE AUTHORITIES.
2. ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE CURRENT EDITION OF THE UNIFORM BUILDING CODE, AND LAWS, ORDINANCES AND REGULATIONS OF ALL GOVERNMENTAL BODIES WITH JURISDICTION OVER THE PROJECT.
3. IF THE DRAWINGS AND SPECIFICATIONS ARE AT VARIANCE WITH ANY FEDERAL, STATE AND LOCAL OR MUNICIPAL LAW, ORDINANCE, RULES OR DEPARTMENTAL REGULATIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT WORK. IF ANY OF THE CONTRACTOR'S WORK SHALL BE DONE CONTRARY THERETO WITHOUT SUCH NOTICE HE SHALL BEAR ALL COST ARISING THEREFROM.

C. PROTECTION OF WORK & PROPERTY

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL VIOLATIONS OF CITY ORDINANCES AND STATE LAWS INVOLVED IN THE PERFORMANCE OF HIS WORK. HE SHALL PROVIDE, DURING THE PROGRESS OF HIS WORK, EVERY AND ALL SAFEGUARDS AND PROTECTION AGAINST ACCIDENTS, INJURY AND DAMAGE TO PERSONS AND PROPERTY INCLUDING ADJOINING PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS WORK AND EVERY PART THEREOF, AND FOR ALL MATERIALS, TOOLS, APPLIANCES AND PROPERTY OF EVERY DESCRIPTION USED IN CONNECTION THEREWITH.
2. THE CONTRACTOR ASSUMES ALL RISKS, HAZARDS AND CONDITIONS IN CONNECTION WITH THE PERFORMANCE OF THE CONTRACT, AND EVEN IF THE PERFORMANCE OF THE CONTRACT INVOLVES A GREATER EXPENDITURE OF MONEY THAN THE CONTRACTOR EXPECTED AT THE TIME OF BIDDING, NO ALLOWANCE WILL BE MADE ON ACCOUNT THEREOF, AND THE CONTRACTOR SHALL CONTINUE WITH AND COMPLETE THE WORK.

D. SUPERVISION

1. THE CONTRACTOR SHALL GIVE PERSONAL SUPERVISION TO THE WORK, USING HIS BEST SKILL AND ATTENTION, AND SHALL KEEP A COMPETENT FOREMAN AND NECESSARY ASSISTANTS CONSTANTLY ON THE SITE. THE FOREMAN SHALL BE THE PERSONAL REPRESENTATIVE OF THE CONTRACTOR AND ALL DIRECTIONS GIVEN BY HIM SHALL BE AS BINDING AS IF GIVEN BY THE CONTRACTOR. COMMUNICATION DELIVERED TO THE FOREMAN BY THE ARCHITECT SHALL BE AS BINDING AS IF DELIVERED TO THE CONTRACTOR.

E. DAMAGES IN THE WORK

1. THE OWNER, WITHOUT INVALIDATING THE CONTRACT, MAY ALTER BY ADDING TO OR DEDUCTING FROM THE WORK COVERED IN THE CONTRACT. ALL SUCH WORK SHALL BE EXECUTED UNDER THE CONDITIONS OF THE ORIGINAL CONTRACT EXCEPT THAT NO EXTRA WORK OR CHANGES SHALL BE DONE WITHOUT WRITTEN ORDER FROM THE ARCHITECT. SUCH ORDERS SHALL COVER THE AGREED PRICE AND TERMS OF EXTRA WORK OR CHANGES, IF WORK IS TO BE OMITTED, THEN PROPER CREDIT FOR SUCH OMITTED WORK SHALL BE GIVEN THE OWNER.

F. CLEANING BUILDING AND PREMISES

1. PRIOR TO THE COMPLETION OF THE WORK, THE CONTRACTOR SHALL THOROUGHLY CLEAN THE EXTERIOR AND INTERIOR OF THE BUILDING, INCLUDING FIXTURES, EQUIPMENT, FLOORS AND HARDWARE, REMOVING ALL PLASTER SPOTS, STAINS, PAINT SPOTS AND ACCUMULATED DUST AND DIRT. THIS SHALL INCLUDE THOROUGH CLEANING OF ALL ROOFS, WINDOW SILLS AND LEDGES, HORIZONTAL PROJECTIONS, STEPS, RAILS, SIDEWALKS OR OTHER SURFACES WHERE DEBRIS MAY HAVE COLLECTED WASH AND POLISH ALL GLASS.

G. GUARANTEES

1. EXCEPT AS OTHERWISE SPECIFIED, ALL WORK SHALL BE GUARANTEED IN WRITING BY THE CONTRACTOR AGAINST DEFECTS RESULTING FROM DEFECTIVE MATERIALS, POOR WORKMANSHIP OR FAULTY EQUIPMENT, FOR A PERIOD OF ONE YEAR FROM THE DATE OF FILING THE NOTICE OF COMPLETION AND THE ACCEPTANCE OF THE BUILDING BY THE OWNER. IF WITHIN THE GUARANTEE PERIOD CORRECTION OF FAULTY MATERIALS OR WORKMANSHIP IS NECESSARY IN THE OPINION OF THE OWNER, THE CONTRACTOR SHALL PROMPTLY, UPON RECEIPT OF NOTICE FROM THE OWNER AND WITHOUT EXPENSE TO THE OWNER, CORRECT FAULTY MATERIALS OR WORKMANSHIP.

H. VERIFICATION OF UNDERGROUND UTILITY IMPROVEMENTS

1. THE GENERAL CONTRACTOR SHALL PROVIDE THE OWNER WITH AN AS-BUILT DRAWING LOCATING AND DESCRIBING ALL UNDERGROUND UTILITIES LOCATED ON THE SITE, INCLUDING BUT NOT LIMITED TO THE FOLLOWING GAS LINES, WATER LINES, SANITARY SEWERS, TELEPHONE LINES, AND ELECTRIC LINES.

I. TRANSPORTATION OF EXCAVATED MATERIAL

1. THE CONTRACTOR SHALL TRANSPORT ALL EXCAVATED MATERIAL NOT REQUIRED FOR RE-COMPACTION TO AN APPROVED LANDFILL SITE OUTSIDE THE COASTAL ZONE. PROVIDE TRIP TICKETS FOR ALL EXCAVATED MATERIAL REMOVED FROM THE PROJECT.

CODE COMPLIANCE

Governing Agency:

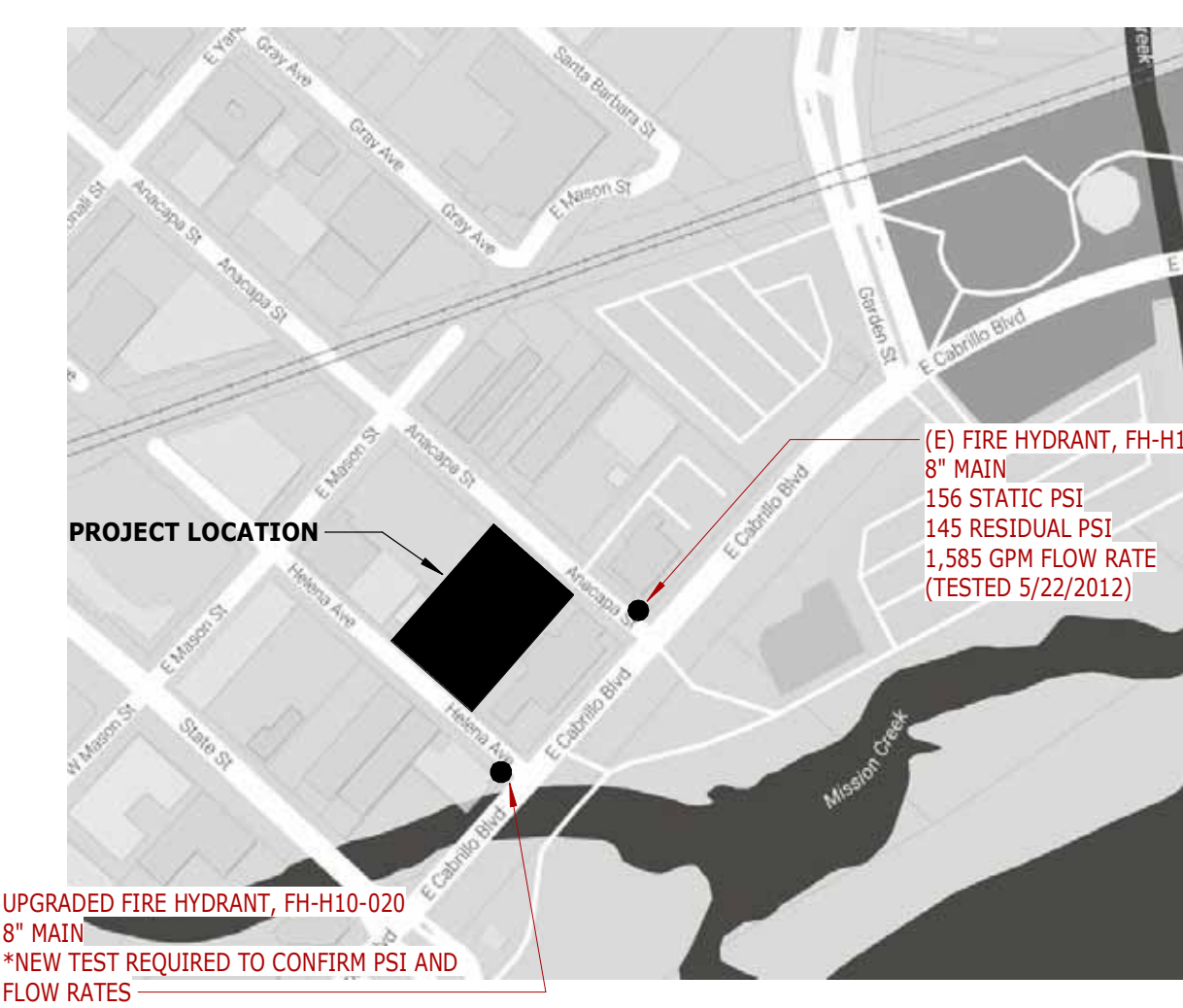
City of Santa Barbara
630 Garden Street
Santa Barbara, CA 93101

Applicable Codes:

All work & material shall be performed & installed in compliance with the current editions of the following codes as adopted by the local governing authorities. Nothing in these plans is to be construed to permit work not conforming to these codes.

- California Building Code, 2019 Edition (CBC)
- California Electrical Code, 2019 Edition (CEC)
- California Mechanical Code, 2019 Edition (CMC)
- California Plumbing Code, 2019 Edition (CPC)
- California Fire Code, 2019 Edition (CFC)
- California Green Building Standards Code, 2019 Edition (CALGreen)
- ADA Standards for Accessible Design, 2010 Edition
- City of Santa Barbara Municipal Code, Adopting Ordinances
- City of Santa Barbara Amendments #570.
- Best Management Practices
- ASCE 24-14
- SMBC 22.24 Floodplain management prdnance.
- FEMA technical bulletins, & applicable FEMA publications

VICINITY MAP



UPGRADED FIRE HYDRANT, FH-H10-020

8" MAIN

NEW TEST REQUIRED TO CONFIRM PSI AND FLOW RATES

16.5 & 20 Helena Avenue

Coastal Development Permit

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A104	PROPOSED ROOF DECK PLAN	A811	VIEW SIMULATION @ CABRILLO
		TOTAL # OF PAGES: 31	

PROJECT DESCRIPTION

THE REQUESTED DESIGN REVIEW APPLICATION IS COMPLIANT WITH THE COASTAL DEVELOPMENT PERMIT APPROVAL IN RESOLUTION NO.003-21. THIS APPLICATION SCOPE IS FOR A PARKING LIFT TO EXPAND THE APPROVED VALET PARKING FOR THE LOT TO ACCOMMODATE THE CHANGE OF STORAGE SPACE IN THE BUILDING INTO WINE TASTING AND ADD A ROOF DECK FOR A NEW TENANT.

THE NORTH PARKING LOT WILL BE RECONFIGURED TO PROVIDE 8 STRIPED SPACES AND 37 PARKING SPACES IN A VALET CONFIGURATION. COMBINED, THE NORTHERLY AND SOUTHERLY PARKING LOTS WILL PROVIDE 50 STRIPED AND 67 TOTAL SPACES IN A VALET CONFIGURATION. 22 SPACES SERVE THE 29 E CABRILLO BUILDING AS APPROVED IN THE COVENANT BETWEEN THE PARCELS, RECORDED AUGUST 8, 2018 AS 2018-0033546. THIS APPLICATION REQUIRES A MODIFICATION FOR PROVIDING LESS PARKING THAN REQUIRED BY ZONING BUT AS ALLOWED IN A SHARED PARKING DEMAND ANALYSIS SHOWING A REQUIREMENT FOR 67 TOTAL SPACES.

PROJECT INFORMATION

PROJECT ADDRESS:	20 & 16.5 Helena Santa Barbara, CA 93101
PL#	PLA2020-00470
A.P.N.#	033-112-010
ZONING	OC - S.D.3 / OCEAN ORIENTED COMMERCIAL
GENERAL PLAN	OCEAN RELATED COMMERCIAL/MEDIUM HIGH RESIDENTIAL
LOT AREA	33,845.85 S.F. (0.78 ACRES)
EXISTING USE	STORAGE / FABRICATION / RETAIL
PROPOSED USE	STORAGE / FABRICATION/ RETAIL / RESTAURANT
OCCUPANCY GROUP	S-1, M, A-2
TYPE OF CONSTRUCTION	V-B
ALLOWABLE AREA	A-2: 24,000 SF, M: 36,000 SF, S-1: 27,000 SF X2 STORIES (SEPARATED PER 508.4)
FIRE SPRINKLERS REQUIRED	YES; PER MUNICIPAL CODE 8.04, ORDINANCE 5779 AS PART OF THE CITY'S AMENDMENTS TO THE 2019 CALIFORNIA FIRECODE, COMMERCIAL: APPROVED AUTOMATIC FIRE SPRINKLERS WILL BE REQUIRED THROUGHOUT THE BUILDING WHEN A CHANGE IN THE OCCUPANCY USE TO A HIGHER HAZARD CLASSIFICATION, UNDER SEPARATE PERMIT.
HIGH FIRE	NO
FLOOD HAZARD	AH ZONE
REQUIRED SETBACKS	FRONT = 0 REAR = 0 SIDE = 0
MAXIMUM HEIGHT LIMIT	45 FEET
OVERALL SLOPE	LESS THAN 2%

SQUARE FOOTAGE CALCULATIONS

AREA (GROSS)	1ST (SF)	2ND (SF)	AREA (NET)	1ST (SF)	2ND (SF)
A-2			A-2		
15B ANACAPA	2,511	0	15B ANACAPA	2,500	
20 HELENA	1,795	570	20 HELENA	1,739	0 258
M			M		
16 HELENA	920	0	16 HELENA	912	0
11C ANACAPA	470	0	11C ANACAPA	458	0
14 HELENA	853	0	14 HELENA	809	0
S-1			S-1		
11A ANACAPA	800	0	11A ANACAPA	762	0
11C ANACAPA	650	0	11C ANACAPA	650	0
13A ANACAPA	1,117	0	13A ANACAPA	1,108	0
16.5 HELENA	1,030	0	16.5 HELENA	1,026	0
SUBTOTAL	(6,415)	0	SUBTOTAL	(3,642)	
SUBTOTAL	10,146	570	SUBTOTAL	9,964	258
TOTAL	10,716		TOTAL	10,222 NET SF	

PARKING CALCULATIONS

PARKING REQUIREMENTS:

THE PROPOSED PROJECT WILL RECONFIGURE EXISTING STORAGE SPACE IN THE BUILDING AND ADD AN OCCUPIED ROOF DECK. THE PARKING REQUIREMENT FOR THE RESTAURANT AND WINE TASTING HAS BEEN ASSESSED AT A RESTAURANT CAPACITY (1 SPACE PER EVERY 3 SEATS, OR 1 PER 250 SF, WHICHEVER IS GREATER). THERE SHALL BE NO UNAUTHORIZED ADDITIONAL SEATING PROVIDED BEYOND WHAT IS IDENTIFIED ON THIS PERMIT, AND THERE SHALL BE NO "FAST FOOD" USE (AS DEFINED IN SBMC 28.04.300) CONDUCTED ON THIS SITE UNLESS A TENANT IMPROVEMENT PERMIT IS SUBMITTED TO THE CITY AND ADDITIONAL PARKING SPACES PROVIDED, IF REQUIRED. A PARKING DEMAND STUDY HAS BEEN PREPARED TO SHOW THE DEMAND AT VARIOUS TIME OF THE WEEK.

PARKING REQUIRED FOR 11 ANACAPA PER ZONING:									
ADDRESS	TENANT	~NET SF	PRIMARY USE	REQ	PARKING	NOTES			
11A ANACAPA	LOVEWORN STUDIO	762	ART STUDIO	1/500	1.5				
11C ANACAPA	LOVEWORN CLOTHING MAKING & ARTIST	650	WORKSHOP	1/500	1.3				
		458	ART RELATED SALES	1/250	1.8				
13A ANACAPA	RESTROOMS/ STORAGE	1,108	STGE./RESTROOMS	1/500	2.2				
15B ANACAPA	BIER GARTEN	2,500	RESTAURANT	1/250	26.7	80 SEATS inc. deck (1 per 3)			
14 HELENA	FUTURE	809	OC ALLOWED USE	1/250	3.2				
16 HELENA	LIGHTHOUSE SKATEBOARD MAKER	912	COMMERCIAL RECREATIONAL	1/250	3.6				
16.5 HELENA	SUNSTONE STORAGE	1,026	TASTING BOH	1/500	2.1				
20 HELENA	SUNSTONE	1,739	WINE TASTING	1/250	11.7	35 SEATS			
20 HELENA- ROOF	SUNSTONE - ROOF DECK	258	BAR/STORAGE ROOF DECK	1/250	1				
		1,215		1/250	13.3	40 SEATS			
		~ TOTAL RESULTING NET SF	9,964	TOTAL PARKING REQ'D	68.4	ROUNDS TO 68			
						STRIPED CONFIGURATION			
						30 TOTAL IN LOT - 8 FOR 29 E CABRILLO			
						VALET CONFIGURATION			
						67 TOTAL IN LOT - 45 FOR 11 ANACAPA, 22 FOR 29 E CABRILLO			

PARKING ALLOCATED TO 29 E CABRILLO: 23 SPACES HISTORICALLY PER RECORDED AGREEMENT (FOR A 250 SEAT RESTAURANT), REQUIREMENT TO CONVERT 1 TO ADA = 22 SPACES REQUIRED

BICYCLE PARKING PROVIDED:

68' x 22' = 90 REQ PARKING SPACES / 7 = 13 BICYCLE PARKING REQUIRED

EXTERIOR: (6) HOOPS x (2) BICYCLES AT EACH HOOP = 12 BICYCLE PARKING

INTERIOR: DERO DECKER SS-12 BICYCLE PARKING SYSTEM = 12 BICYCLE PARKING

24 BICYCLE PARKING PROVIDED



City of Santa Barbara

Community Development Department

www.ci.santa-barbara.ca.us

BASE FLOOD ELEVATION (BFE) DETERMINATION

Date: May 15, 2017
Site: 11 Anacapa St.
Contact: Diane Inouye
Email: diane@dmha.com

BLD2017-01132
APN: 03-0112-010

NFIP Community: City of Santa Barbara 060335
FIRM Map Index Date: Nov. 4, 2015
Flood Insurance Rate Map (FIRM): 06083C1387H
Effective Panel Date: Nov. 4, 2015
Panel Number & Suffix: 1387H
Revision Date: None

Building Use: ☒ Non-Residential ☐ Residential ☐ Accessory
FIRM Zone(s): ☒ FloodPlain SFHA 'AH' ☐ Regulatory FloodWAY SFHA 'AE' ☐ FIS Profile ☐ Other
BFE Source: ☒ FIRM Map

BFE: 12.3' NAVD 1988 Datum

SFHA Area

'AH' Zone Teal



NOTE: Existing Structure(s) shown are approximate in location, shape & size. Proposed Structure(s) are NOT shown - Refer to Architect/Engineer's construction documents for proposed project description and extent.

Building Permits are required before any new work, addition, or remodeling of structures in a Special Flood Hazard Area (SFHA) - City of Santa Barbara Municipal Code MC 22.24.

Flood Insurance is required for Federally Financed structures located in a SFHA 'A', 'AO', 'AH', 'AE' 'D' & 'VE' zones. Flood Insurance is not required in 'X' & Shaded 'X' zones.

Curtis Harrison, CFM - Floodplain Coordinator/Senior Plans Examiner @ (805) 560-7512
630 Garden Street, Santa Barbara, Ca. 93102

Cc: ☒ City Floodplain File ☒ City Street File

H:\Group Folders\Building\Flood\BFEs\2017 BFE\Anacapa 11 BFE BLD2017-01132.doc



NOT FOR CONSTRUCTION



NOT FOR CONSTRUCTION

Sunstone

16.5 & 20 Helena Ave.
Santa Barbara, CA 93103

PROJECT #: 20C102

NO.	DESCRIPTION	DATE
	CDP Submittal	09/04/2020
	DART Submittal	01/05/2021
	DART Submittal	03/16/2021
	Completeness	05/03/2021
	ABR Revised Concept	10/18/2021
	ABR PDA	01/03/2022

G011

SITE PHOTOS



THE INCLUDED DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF RRM DESIGN GROUP, INC. AND NO PART THEREOF SHALL BE REPRODUCED OR USED IN CONNECTION WITH ANY WORK OF PROJECT OTHER THAN THE SPECIFIED PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF RRM DESIGN GROUP, INC. ANY REUSE OR MISUSE OF ANY OF THE SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. SUBMITTAL OF THESE DOCUMENTS FOR PUBLIC AGENCY REVIEW SHALL NOT BE CONSIDERED A WAIVER OF RRM DESIGN GROUP'S RIGHTS.

RRM DESIGN GROUP COPYRIGHT 2016.
RRM IS A CALIFORNIA CORPORATION

GENERAL NOTES

1. SITE GRADING SHALL CONFORM TO THE RECOMMENDATIONS MADE BY THE GEOTECHNICAL ENGINEER IN THE PROJECT SOILS REPORT:
- PRELIMINARY GEOTECHNICAL INVESTIGATION-15 ANACAPA STREET
DATED: MAY 24, 2017
PERFORMED BY: PACIFIC MATERIALS LABORATORY, INC.,
35-A SOUTH LA PATERA LANE, GOLETA, CA 93116
805-964-6901
RONALD J. PIKE G.E. 2291

















SURVEY INFORMATION

SURVEY PERFORMED BY:
DAVIS SURVEYING
44 HELENA AVE, SANTA BARBARA, CA 93101
805-564-8756
STEVE DAVIS, SURVEYOR
JULY 2017

CONSTRUCTION NOTES

- ① CONSTRUCT PERMEABLE PAVEMENT PER DETAIL A, THIS SHEET. COLOR TO BE SELECTED BY ARCHITECT.
- ② CONSTRUCT BIORETENTION AREA PER DETAIL B, THIS SHEET.
- ③ CONSTRUCTION BIORETENTION PLANTER PER DETAIL C, THIS SHEET.
- ④ CONSTRUCT 6" CURB ONLY PER CITY OF SANTA BARBARA STANDARD DETAIL H-02.0.
- ⑤ CONSTRUCT 2' TRANSITION TO 0' CURB PER DETAIL D, THIS SHEET.
- ⑥ INSTALL SEDIMENT CAPTURE TRENCH DRAIN PER DETAIL E, THIS SHEET.
- ⑦ RECONSTRUCT EXISTING BIORETENTION AREA PER DETAIL B, THIS SHEET.
- ⑧ CONNECT DOWNPOUT TO 3" PVC STORM DRAIN, OUTLET THROUGH CURB FACE PER CITY OF SANTA BARBARA STANDARD DETAIL D-05.0.
- ⑨ REMOVE EXISTING STORM DRAIN INLET, CAP STORM DRAIN AT PROPERTY

LEGEND

	EXISTING CONCRETE PAVEMENT
	EXISTING ASPHALT PAVEMENT
	PROPOSED ASPHALT PAVEMENT
	EXISTING DECK OVER AC PAVING
	EXISTING PERMEABLE PAVEMENT
	PROPOSED PERMEABLE PAVEMENT
	PROPERTY LINE
	EXISTING CONTOUR
	SAWCUT
	DOWNSPOUT LOCATION
	EXISTING WATER LINE
	EXISTING SEWER LINE
	EXISTING STORM DRAIN
	EXISTING UNDERGROUND ELECTRICAL
	EXISTING GAS LINE
	PROPOSED STORM DRAIN

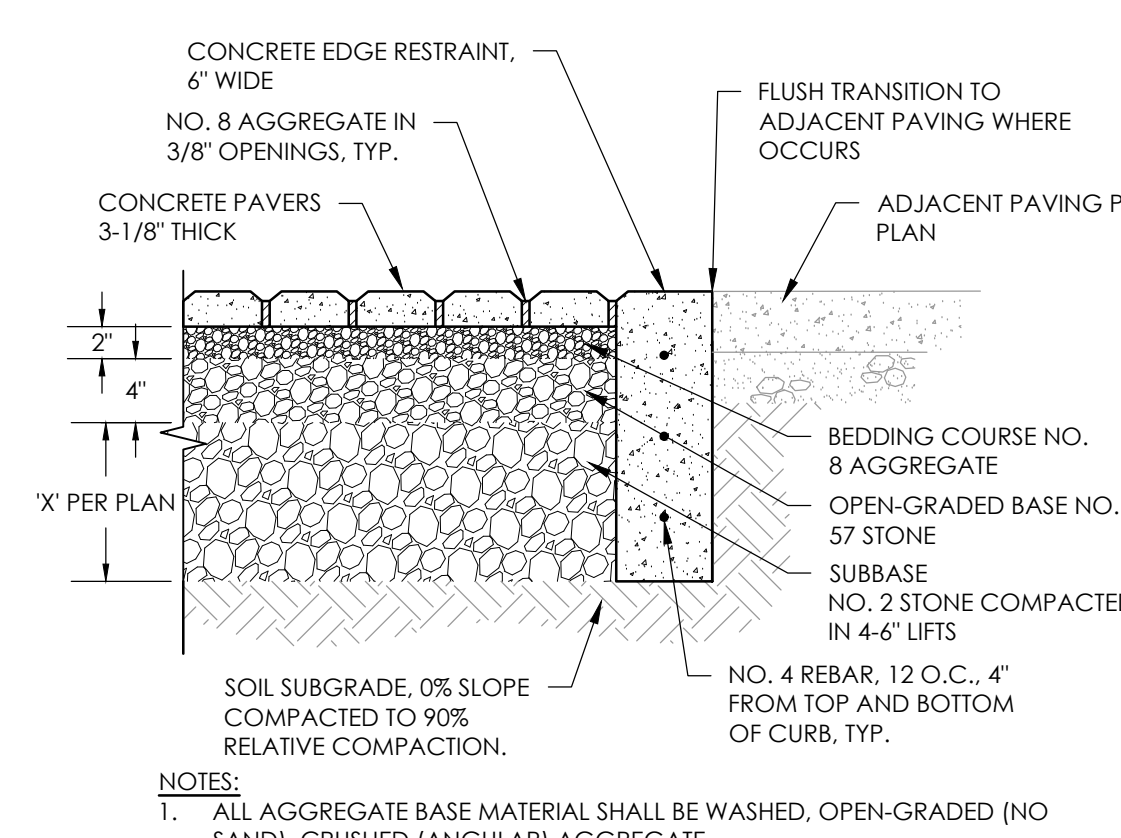
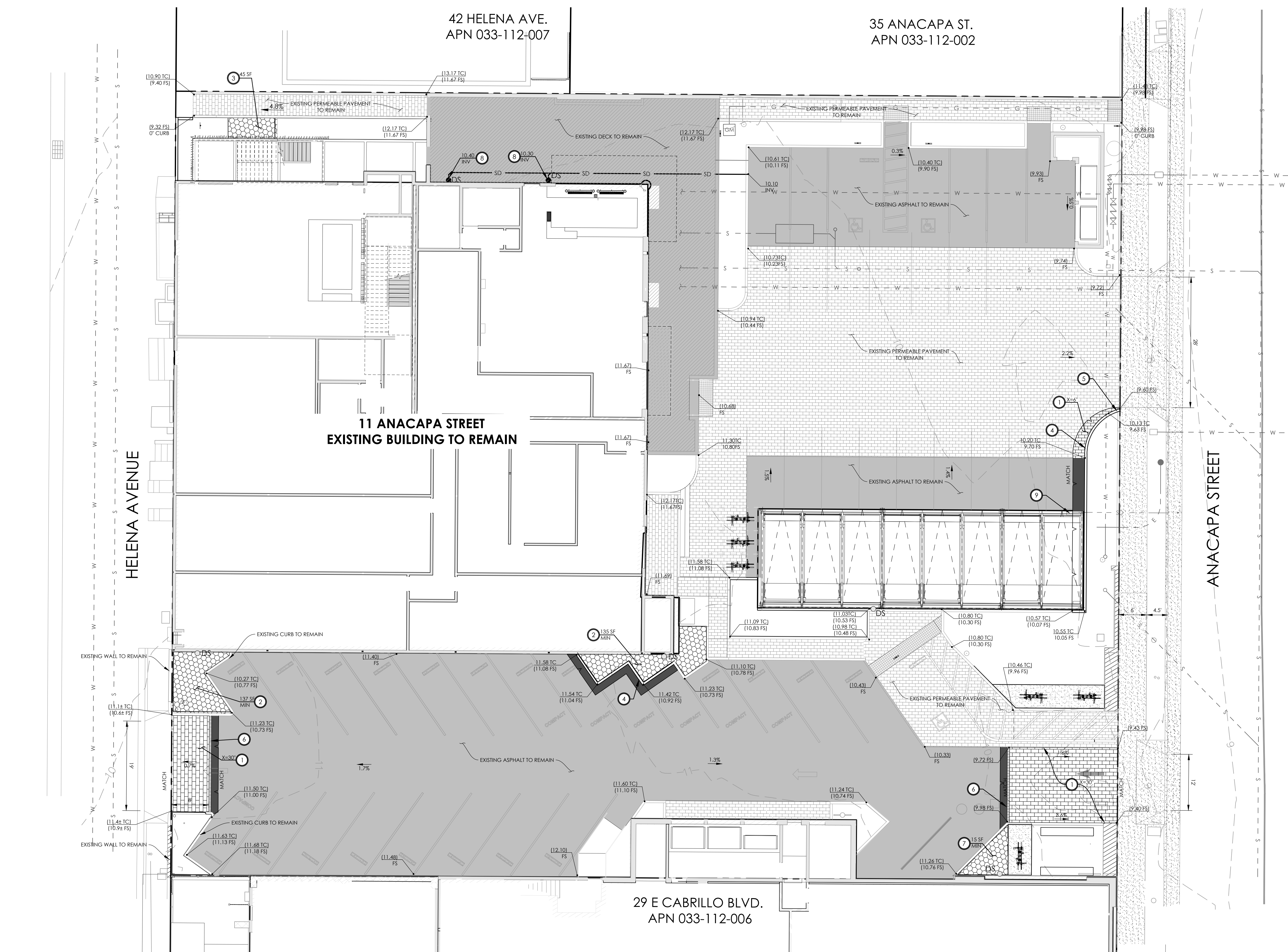
SUNSTONE
16.5 & 20 HELENA AVE.
SANTA BARBARA, CA 93101

PRELIMINARY GRADING PLAN

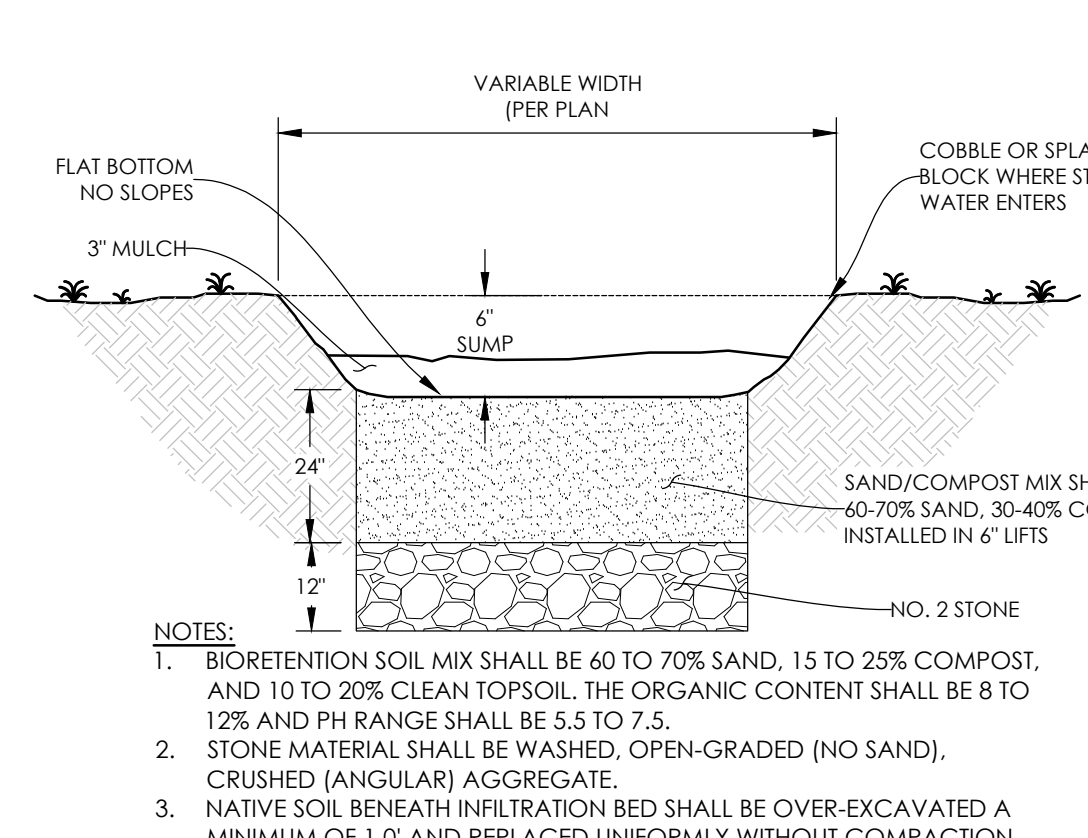
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PROJECT MANAGER MICHAEL HAMILTON	
DRAWN BY ADW	CHECKED BY MCH
DATE DECEMBER 15, 2020	
PROJECT NUMBER 2048-01-CO20	
SHEET	

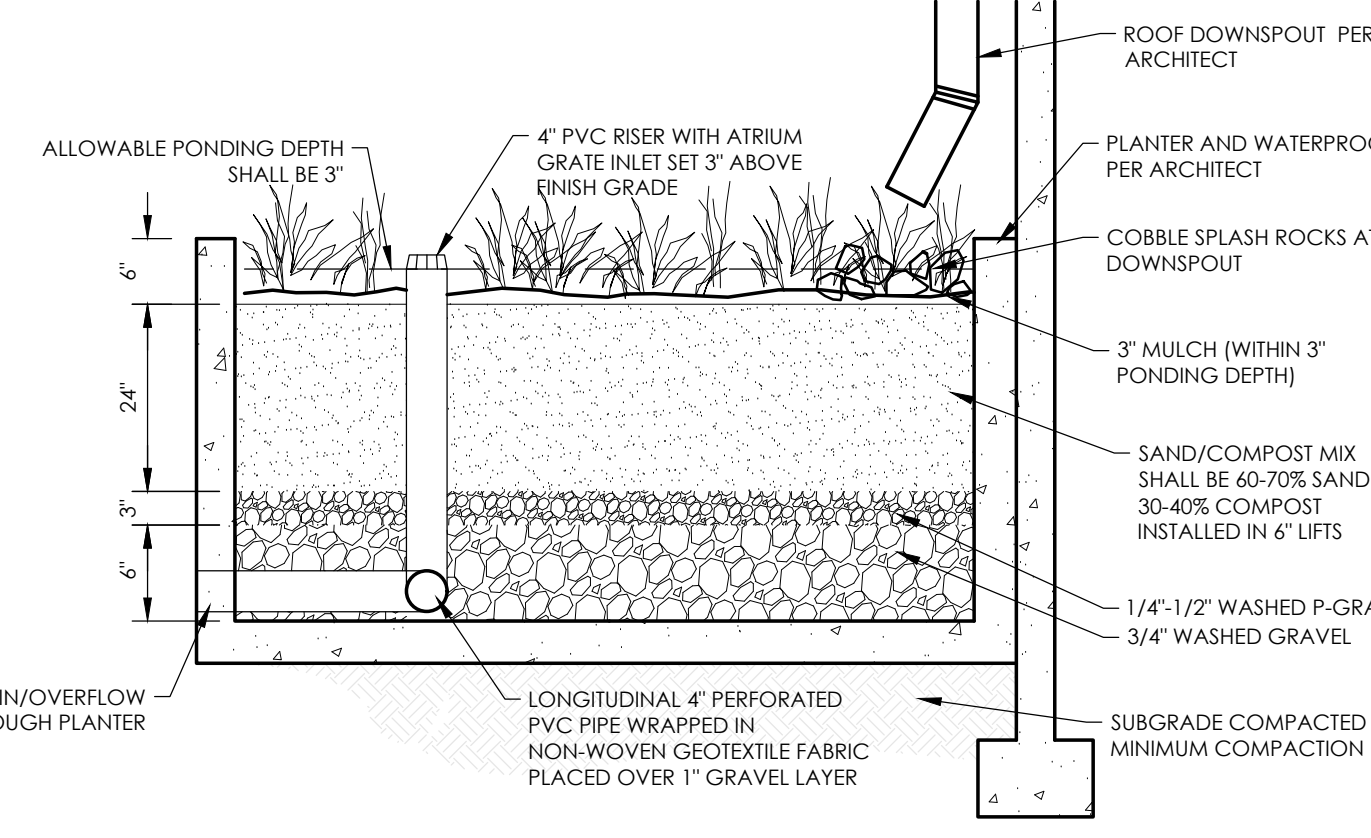
C1



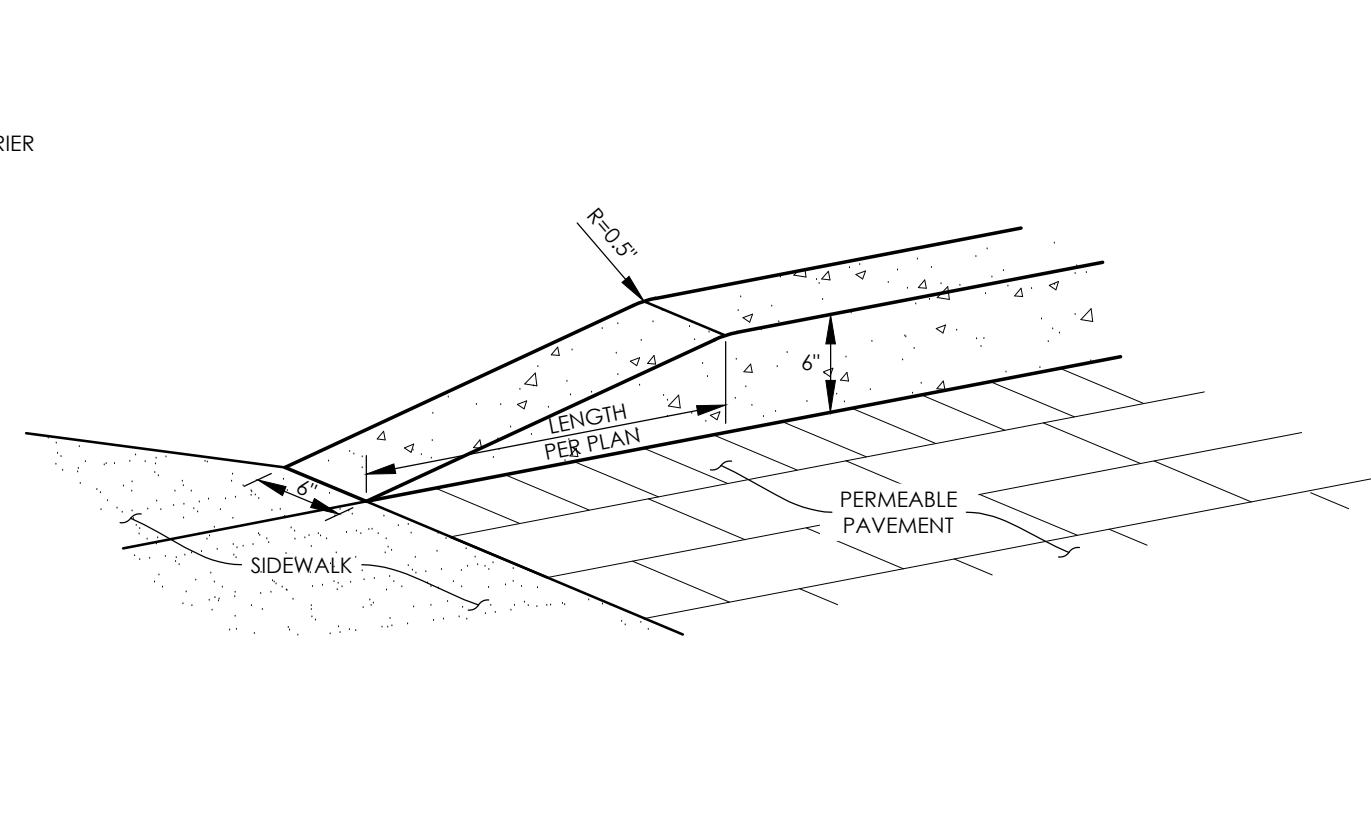
A PERMEABLE PAVEMENT
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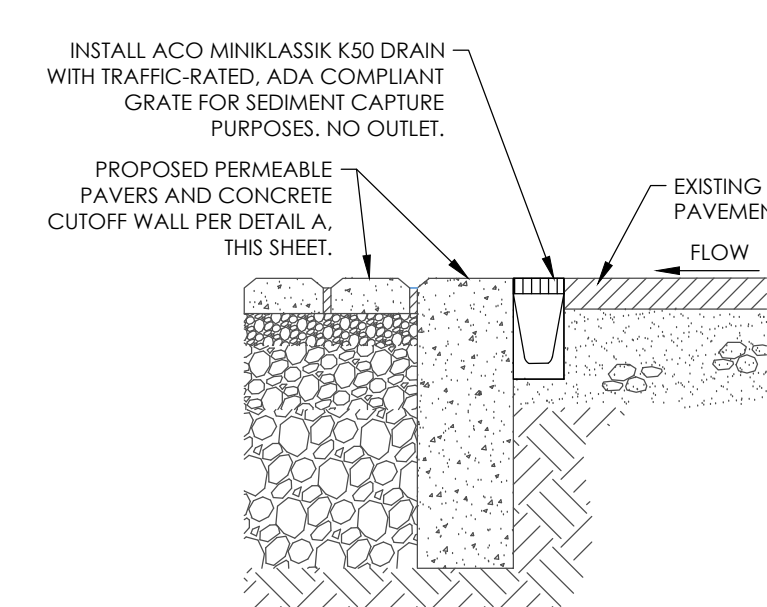
B IN-GROUND BIORETENTION
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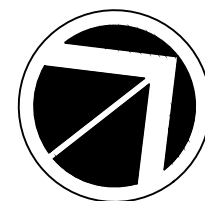
BIORETENTION PLANTER BOX
SCALE: NTS



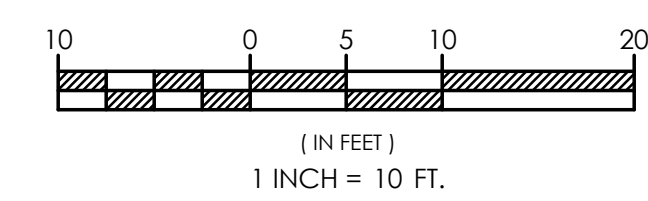
D TRANSITION TO 0" CURB
SCALE: NTS



E SEDIMENT CAPTURE AT PERMEABLE PAVEMENT
SCALE: N.T.S.



NORTH

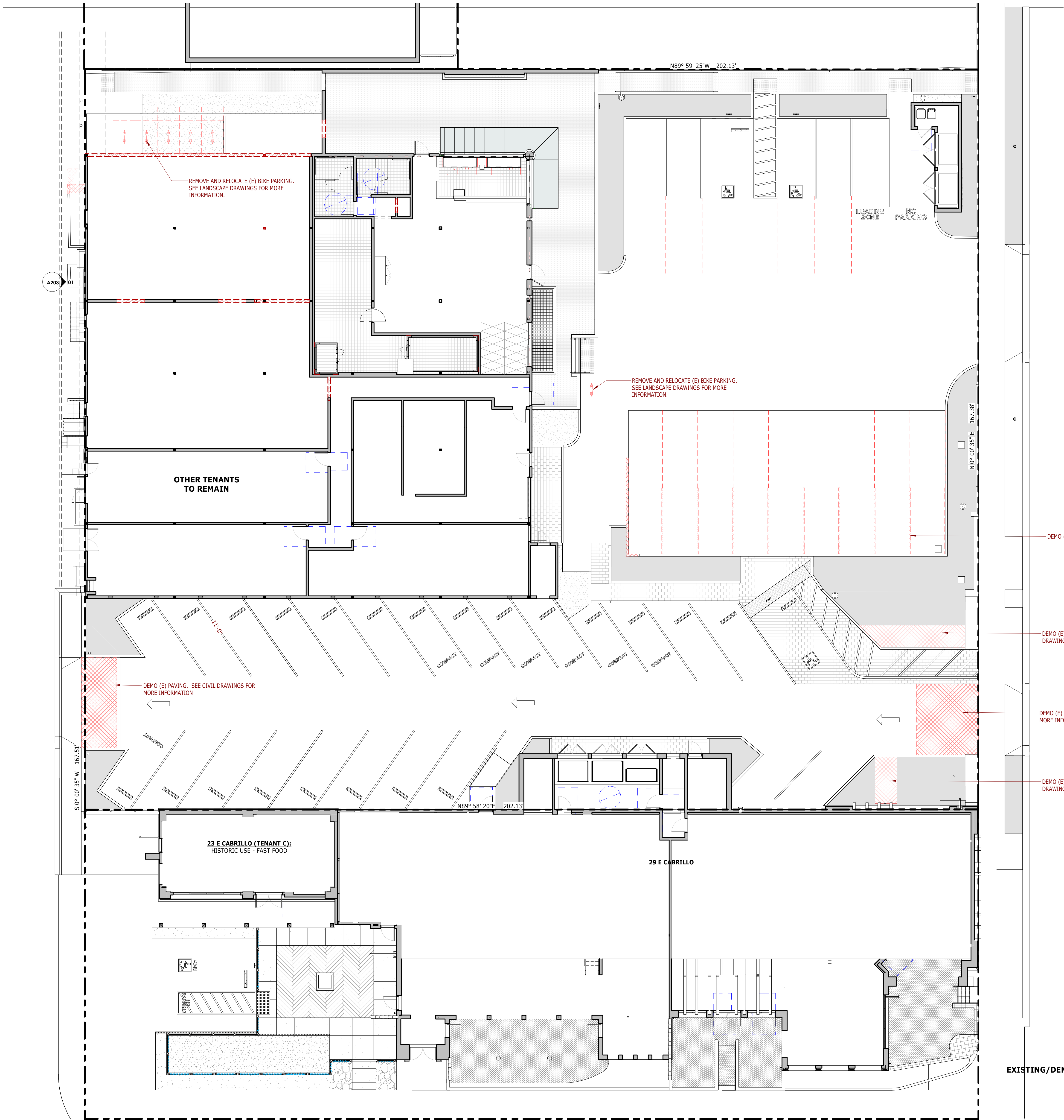




* REFERS TO BMP DESIGNATION GIVEN IN THE CASQA STORMWATER BEST MANAGEMENT PRACTICE CONSTRUCTION HANDBOOK. SEE HANDBOOK FOR BMP DETAILS AND IMPLEMENTATION STRATEGIES.

C2

Z:\Shared\DMHA\Projects\20C102 - 11. Alameda - Sunstone\11 Drawings and Presentations - Archives and References\Project\20C102-11 Alameda - Sunstone\AS101.dwg 1/7/2022 3:22:03 PM



EXISTING/DEMO SITE PLAN
1" = 10'-0"
01

LEGEND

- EXISTING TO REMAIN
- NEW CONSTRUCTION
- 1 HOUR RATED PARTITION
- ACCESSIBLE P.O.T.

SEE G002 FOR SYMBOLS & ABBREVIATIONS
SEE G003 FOR TYPICAL SIGN TYPES

GENERAL SITE NOTES

INFORMATION FOR THIS SITE PLAN HAS COME FROM MULTIPLE SOURCES. THIS DRAWING SHALL NOT BE CONSTRUED AS A SITE SURVEY DOCUMENT AND IS FOR REFERENCE PURPOSES ONLY.
IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL FIELD CONDITIONS PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.



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Sunstone

16.5 & 20 Helena Ave.
Santa Barbara, CA 93103

PROJECT #: 20C102

NO.	DESCRIPTION	DATE
CDP Submittal		09/04/2020
DART Submittal		01/05/2021
ABR Concept		02/05/2021
DART Submittal		03/16/2021

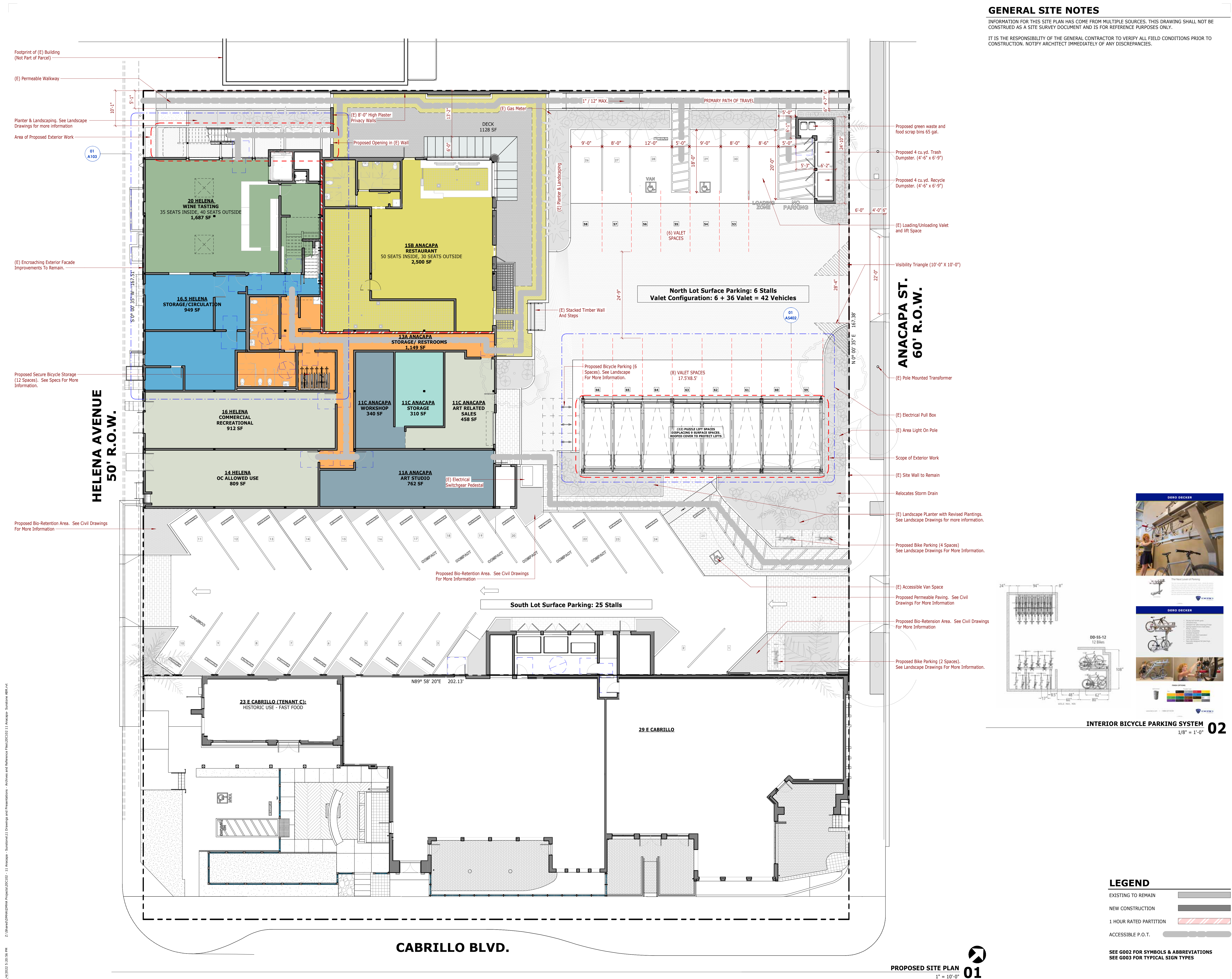
AS101

EXISTING/DEMO SITE PLAN

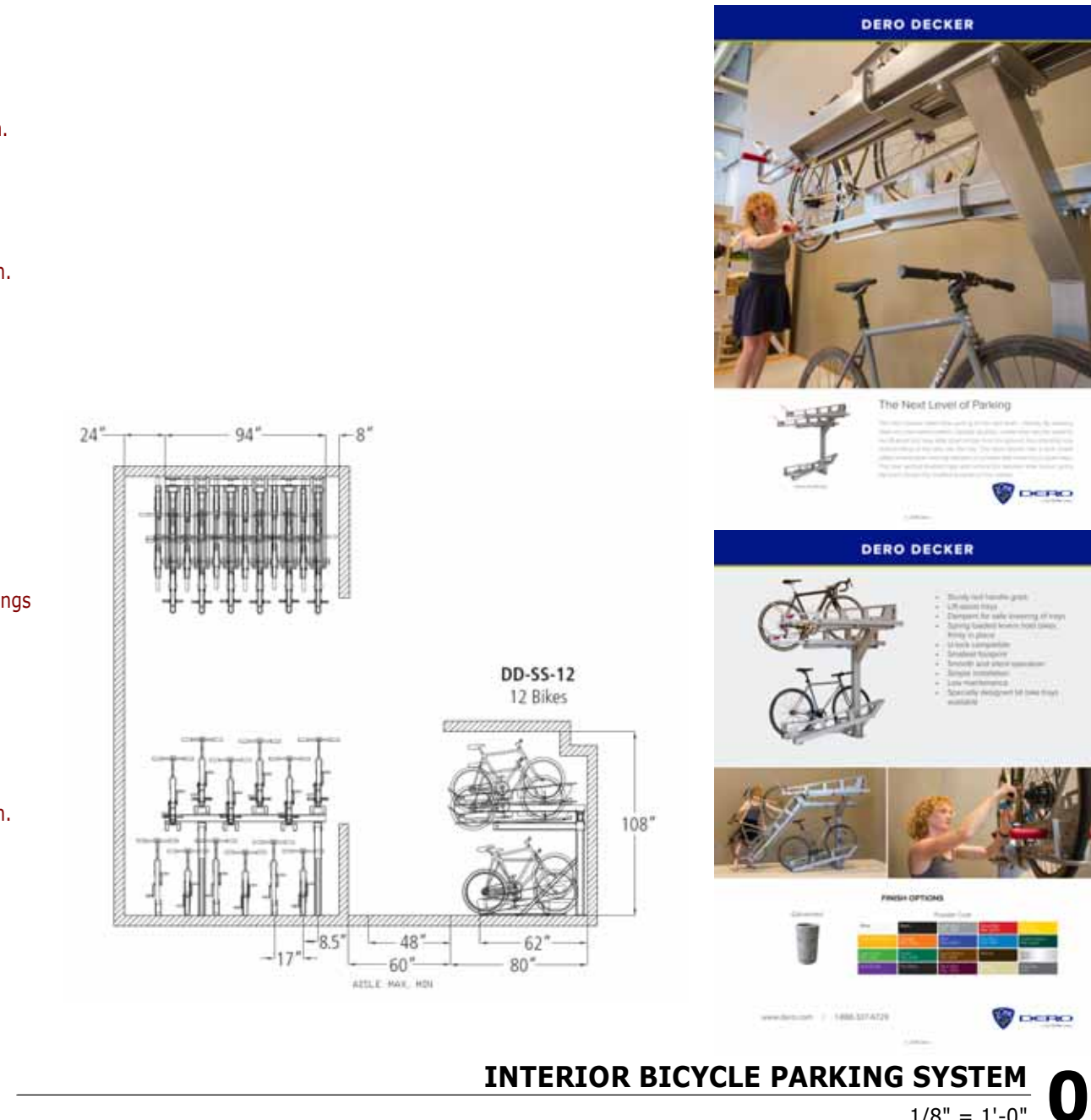
SCALE = 1"=10'

NOT FOR CONSTRUCTION

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LEGEND

EXISTING TO REMAIN	[Line Style]
NEW CONSTRUCTION	[Line Style]
1 HOUR RATED PARTITION	[Line Style]
ACCESSIBLE P.O.T.	[Line Style]

SEE G002 FOR SYMBOLS & ABBREVIATIONS
SEE G003 FOR TYPICAL SIGN TYPES

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Sunstone
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Santa Barbara, CA 93103
PROJECT #: 20C102

NO.	DESCRIPTION	DATE
1	Conceptual Parking layout	03/27/2020
2	CDP Submittal	09/04/2020
3	DART Submittal	01/05/2021
4	ABR Concept	02/05/2021
5	DART Submittal	03/16/2021

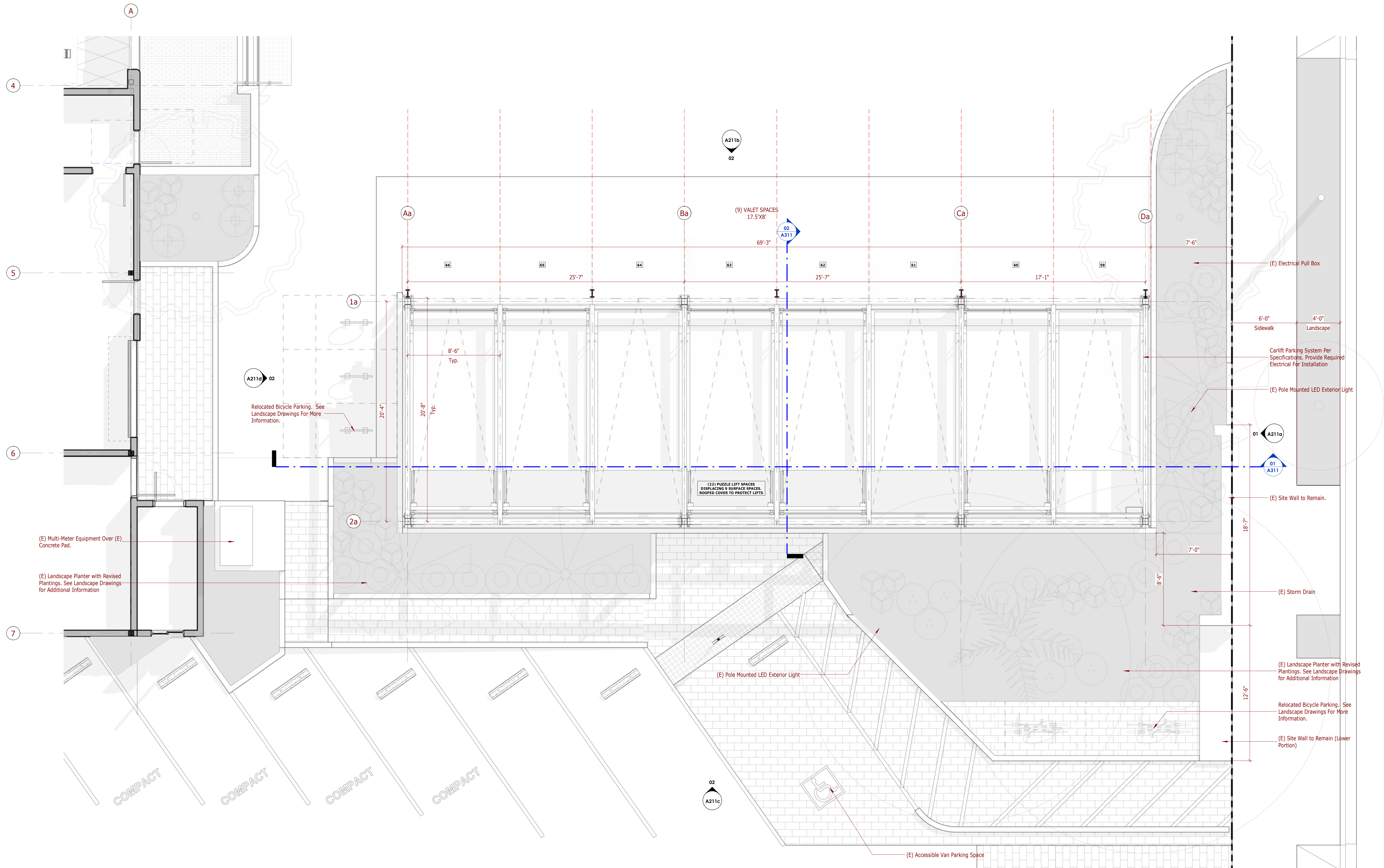
AS102
PROPOSED SITE PLAN

SCALE = 1"=10'

0 3 5 10

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PROPOSED FLOOR PLAN
1/4" = 1'-0"

01

Sunstone

16.5 & 20 Helena Ave.
Santa Barbara, CA 93103

PROJECT #: 20C102

NO.	DESCRIPTION	DATE
CDP Submittal		09/04/2020
DART Submittal		01/05/2021
ABR Concept		02/05/2021
DART Submittal		03/16/2021

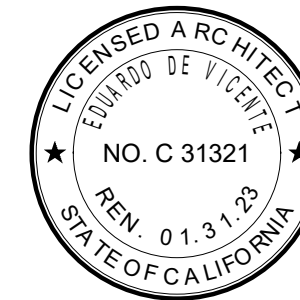
AS401

ENLARGED PARKING PLAN

SCALE = 1/4" = 1'-0"

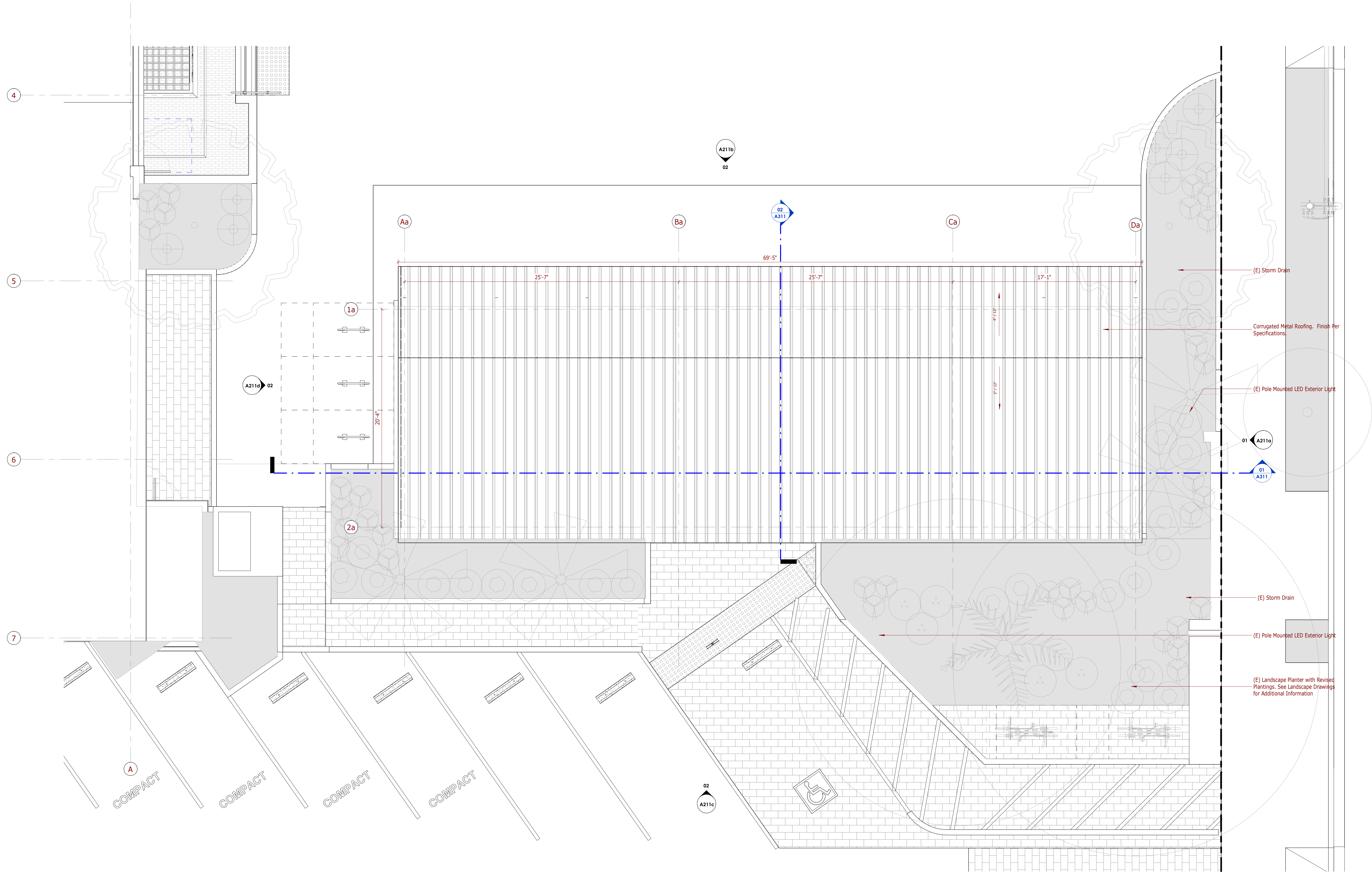


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PROPOSED ROOF PLAN
1/4" = 1'-0"

01

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16.5 & 20 Helena Ave.
Santa Barbara, CA 93103

PROJECT #: 20C102

NO.	DESCRIPTION	DATE
CDP Submittal		09/04/2020
DART Submittal		01/05/2021
ABR Concept		02/05/2021
DART Submittal		03/16/2021

AS402

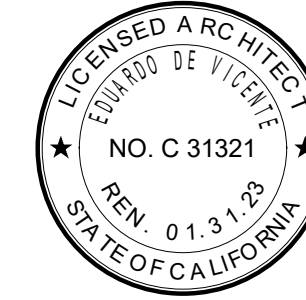
PROPOSED PARKING ROOF
PLAN

SCALE = 1/4" = 1'-0"

0 1 2 4



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PROPOSED BIKE RACK



MODEL: CORTEN BICYCLE RACK
MFR: STREETLIFE
MATERIAL: CORTEN STEEL W/ PLASTIC EDGE
SIZE: 23" x 3" x 30"H

PRELIMINARY PLANT SCHEDULE					
TREES	BOTANICAL NAME	COMMON NAME	CONT	WATER USE	
ARC CUN	ARCHONTOPHOENIX CUNNINGHAMIANA	KING PALM 8-10' BTH	24"BOX	MEDIUM	
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	
AGA NOV	AGAVE ATTENUATA "NOVA"	NOVA FOXTAIL AGAVE	5 GAL	LOW	48" o.c.
WES MOR	WESTRINGIA FRUTICOSA "MORNING LIGHT"	MORNING LIGHT COAST ROSEMARY	5 GAL	LOW	33" o.c.
BIORETENTION	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	
CHO TEC	CHONDROPETALUM TECTORUM	CAPE RUSH	5 GAL	LOW	48" o.c.
JUN ELK	JUNCUS PATENS "ELK BLUE"	SPREADING RUSH	1 GAL	LOW	18" o.c.
PLANTER POTS	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	
ACA CIT	ACACIA COGNATA "ACCOG01"	COUSIN ITT LITTLE RIVER WATTLE	5 GAL	LOW	48" o.c.
ADE SER	ADENANTHOS SERICEUS	COASTAL WOOLLYBUSH	5 GAL	LOW	42" o.c.
ALO BUH	ALOE BUHRII	BUHR'S ALOE	5 GAL	LOW	24" o.c.
CAR DIV	CAREX DIVULSA	BERKELEY SEDGE	1 GAL	LOW	12" o.c.
CAS COU	CASUARINA GLAUCA "COUSIN IT"	COUSIN IT CASUARINA	3 GAL	LOW	48" o.c.
LOM FLU	LOMANDRA FLUVIATILIS "ABU7" TM	SHARA MAT RUSH	1 GAL	LOW	21" o.c.
MYR AFR	MYRSINE AFRICANA	AFRICAN BOXWOOD	3 GAL	LOW	42" o.c.
SAN BL7	SANSEVERIA TRIFASCIATA "BLACK CORAL"	BLACK CORAL SANSEVERIA	3 GAL	LOW	36" o.c.
SAN ZEY	SANSEVERIA ZEYLANICA	MOTHER-IN-LAW TONGUE	3 GAL	LOW	36" o.c.
VINE/ESPALIER	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	
DIS BUC	DISTICTIS BUCCINATORIA	BLOOD RED TRUMPET VINE	5 GAL	LOW	48" o.c.
GROUND COVERS	BOTANICAL NAME	COMMON NAME	CONT	WATER USE	
DYM MAR	DYMONDIA MARGARETAE	SILVER CARPET DYMONDIA	FLAT	LOW	
SEN CYL	SENECIO CYLINDRICUS	NARROW-LEAF CHALKSTICKS	FLAT	LOW	

PRELIMINARY PLAN - PLANTING AND DESIGN

- CJM::LA STRIVES TO UPHOLD THE ARCHITECTURAL AND CULTURAL HERITAGE OF THE SANTA BARBARA COMMUNITY THROUGH THE DEVELOPMENT OF ENGAGING SPACES. OUR APPROACH RESPONDS TO CONTEXT, HISTORY AND OUTLOOK IN ORDER TO PROVIDE OUTDOOR SPACES WHICH QUIET THE MIND AND ACTIVATE THE SENSES. THE BUILT ENVIRONMENT IS PARAMOUNT IN REPRESENTING THE IDENTITY OF A COMMUNITY, AND WE SEEK TO PROVIDE RESPONSIBLE DESIGN SOLUTIONS THAT RESPECT THE BALANCE OF PAST AND FUTURE. WE PRIDE OURSELVES IN DESIGN THAT IS UNIQUE AND SPECIFIC; ENDURING AND AUTHENTIC.
- THIS PLAN ENGAGES BOTH SUSTAINABLE BUILDING PRACTICES AS WELL AS AESTHETIC AND FORWARD-THINKING DESIGN SOLUTIONS TO CREATE A UNIQUE ADDITION TO THE BUILT ENVIRONMENT.
- PEDESTRIAN, BICYCLE AND VEHICULAR CIRCULATION HAS BEEN STUDIED IN ORDER TO MAINTAIN APPROPRIATE CONNECTIVITY WITH THE SURROUNDING COMMUNITY, AS WELL AS WITHIN THE DEVELOPMENT.
- STORMWATER QUALITY WILL BE ADDRESSED WITH THE MOST APPROPRIATE BEST MANAGEMENT PRACTICES FOR THIS DEVELOPMENT.
- GREEN SCREENS WILL BE INCLUDED WHERE FEASIBLE.
- EXISTING TREES ON SITE WILL BE PROTECTED TO THE MAXIMUM EXTENT FEASIBLE WITHIN THE PROJECT REQUIREMENTS.
- THE PLANT PALETTE WILL BE MEDITERRANEAN IN CHARACTER AND SUITABLE TO THE SANTA BARBARA REGIONAL CLIMATE. PLANT MATERIAL WILL BE LOW-WATER AND LOW-MAINTENANCE. ONLY ORGANIC FERTILIZERS AND SOIL AMENDMENTS WILL BE USED.
- COMMON AREA IRRIGATION WILL INCLUDE A COMBINATION OF LOW-VOLUME SPRAY HEADS, BUBBLERS AND DRIP SYSTEMS AS APPLICABLE. ALL IRRIGATION WILL BE CONTROLLED BY AN AUTOMATIC TIMER WITH A SEASONAL ADJUSTMENT CAPACITY TO APPLY LESS WATER DURING THE RAINY SEASON. POTS WILL BE HAND-WATERED OR WILL INCLUDE SELF-WATERING SYSTEMS.

SHEET INDEX

SHEET	DESCRIPTION
L-1	PRELIMINARY LANDSCAPE PLAN - SITE
L-2	PRELIMINARY LANDSCAPE PLAN - ROOF DECK

SITE STATISTICS

TOTAL ONSITE LANDSCAPE AREA: 1,280 S.F.

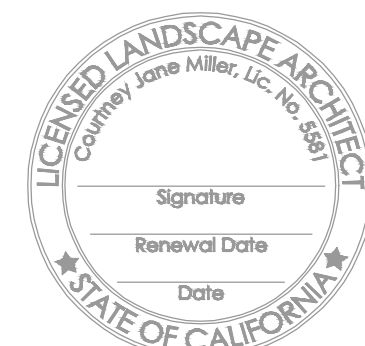


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SUNSTONE
PRELIMINARY LANDSCAPE PLAN - SITE

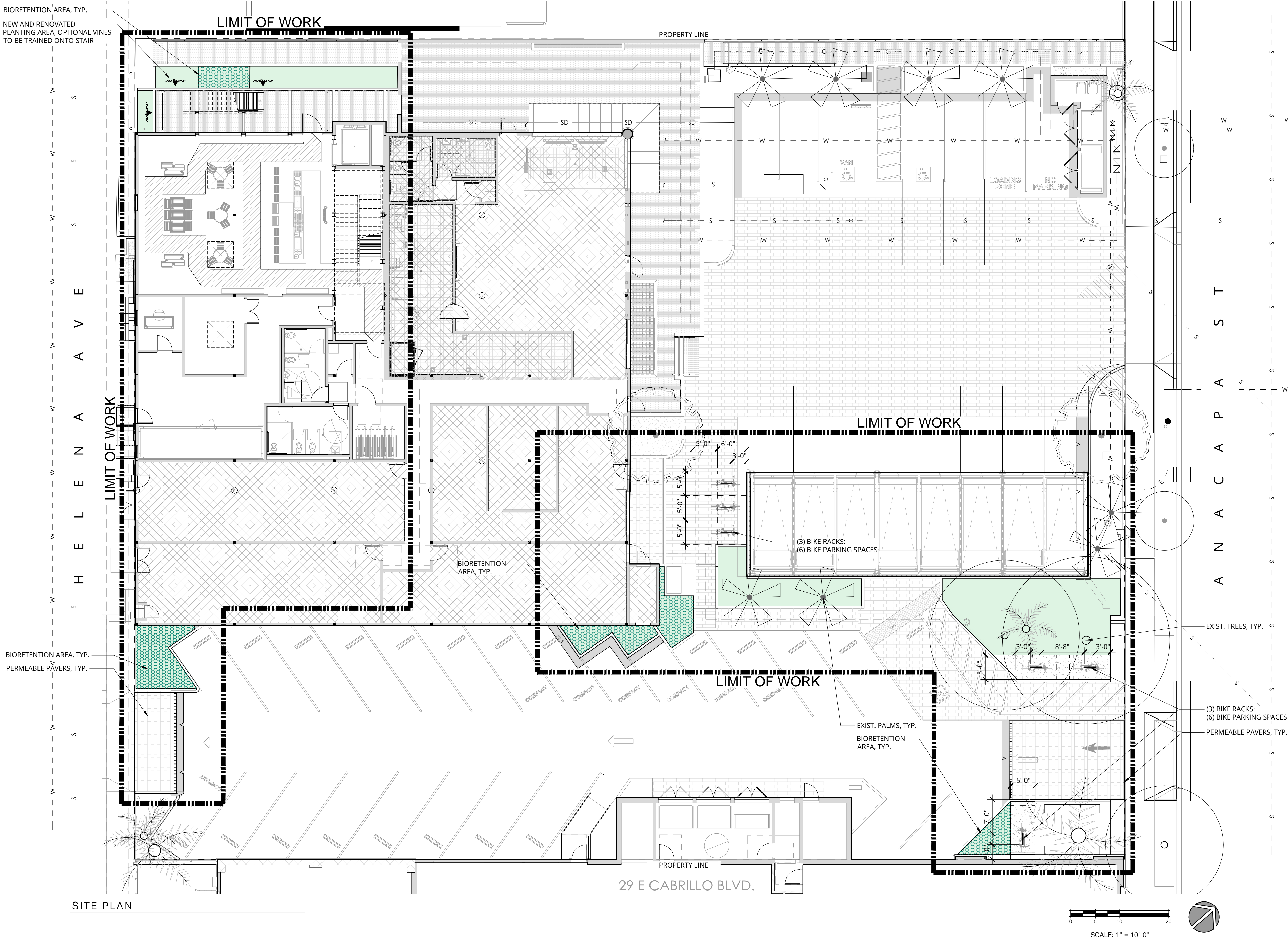
16.5 & 20 Helena Ave.
Santa Barbara, CA 93103



REVISIONS	
09/04/20 CDP Submittal	
12/15/20 DART #2	
03/17/21 DART #3	

PROJECT NUMBER	2016
DRAWN BY	NH
DATE DRAWN	08/11/20
SCALE	1"=10'-0"
PRINT DATE	3/17/21

SHEET NUMBER
L-1

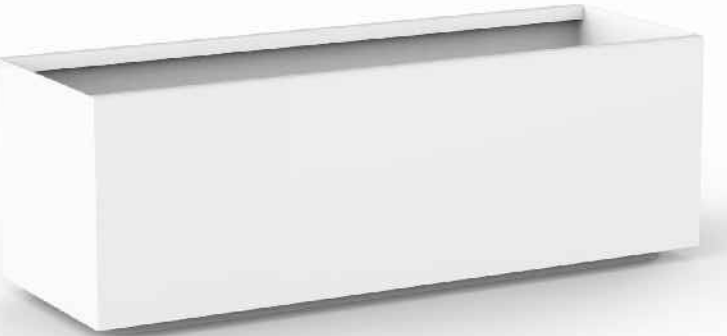
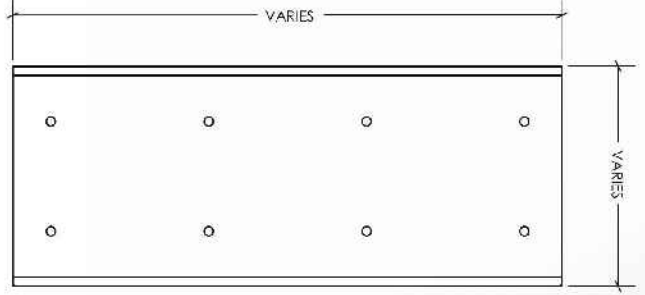


EDGE PLANTER:

MODEL: CONTRACT 'EMPIRE'
MFR: PLANTERWORX
SIZE: 36"H X 18"W X 36"L &
36"H X 18"W X 48"L
MTRL: ALUMINUM, MARINE-GRADE POWDER COAT
COLOR: CARBON



PLANTERWORX
CONTRACT

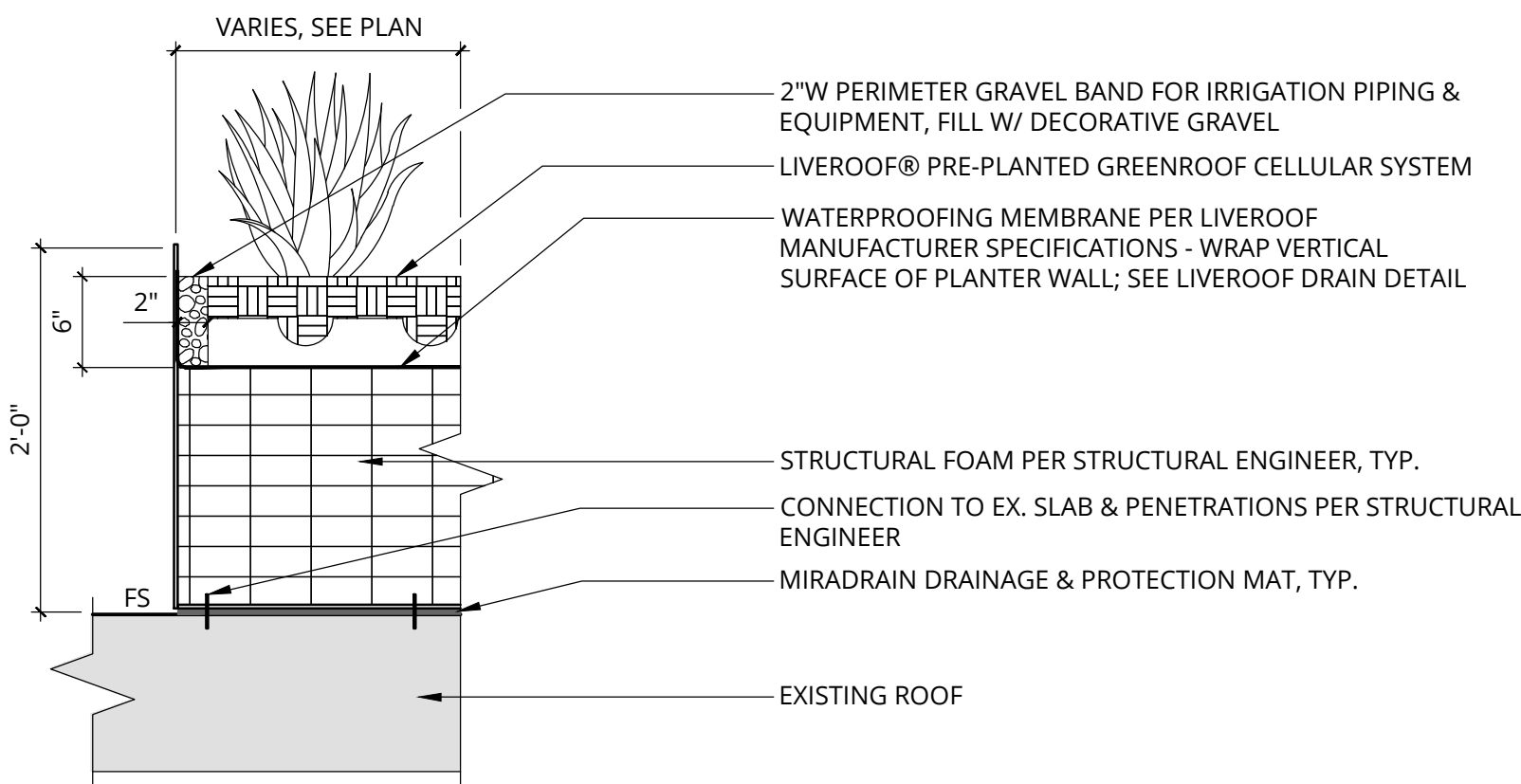


EMPIRE PLANTER
DIMENSIONS VARY | PRODUCT IS MADE TO ORDER

MANUFACTURED FROM:
12" ASTH A286 STAINLESS STEEL
1/2" 304 (1/4") 304 (1/4")
12" CORTEN STEEL, ASTH A588
OR 12" ALUMINUM, ASTH B209, 5052 ALLOY
WITH A POLYESTER BASED ARCHITECTURAL MARINE
GRADE POWDER COAT FINISH
AVAILABLE IN STANDARD FINISHES OR IN ANY RAL COLOR

NOTES:

- EXISTING ROOF UNDERNEATH PROPOSED PLANTERS TO BE PROTECTED & WATERPROOFED BY OTHERS PRIOR TO INSTALLING PLANTER
- ALL IRRIGATION PIPE & DRAINAGE PENETRATIONS BY OTHERS; GENERAL CONTRACTOR RESPONSIBLE TO COORDINATE SCOPE BETWEEN LANDSCAPE CONTRACTOR AND PLUMBING CONTRACTOR
- PLUMBING AND CONDUIT STUB-UPS, PENETRATIONS, AND EXTERNAL PIPING TO BE LOCATED TO BE HIDDEN FROM VIEW TO THE BEST EXTENT FEASIBLE (E.G. BTWN BLDG & PLANTER)



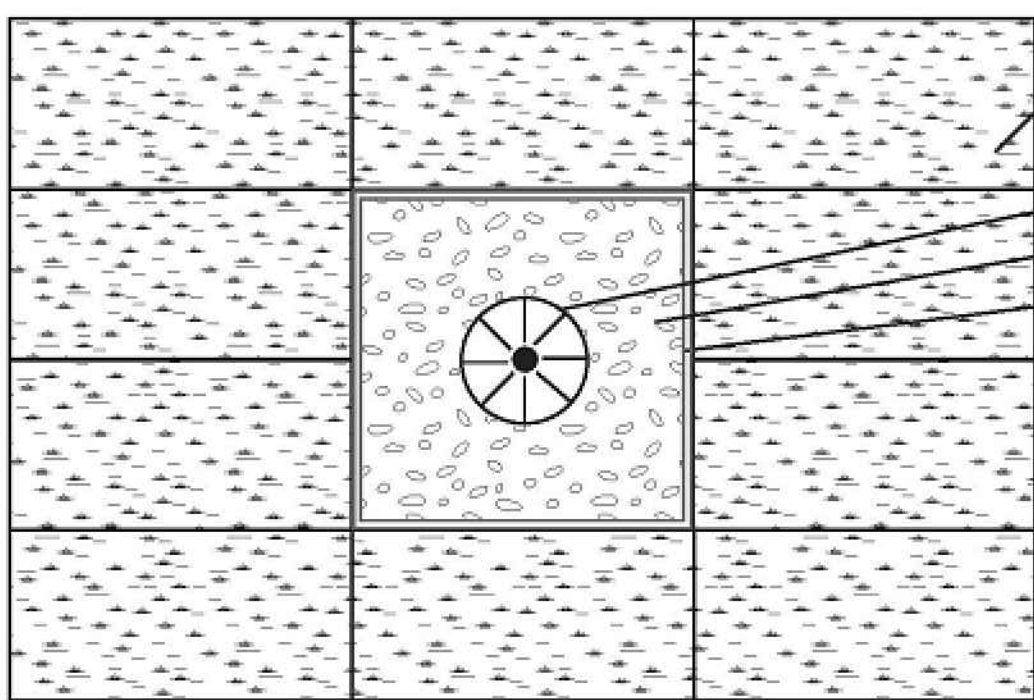
1 STEEL PLANTER OVER-STRUCTURE

1" = 1'-0"

P-2016-HAR-01

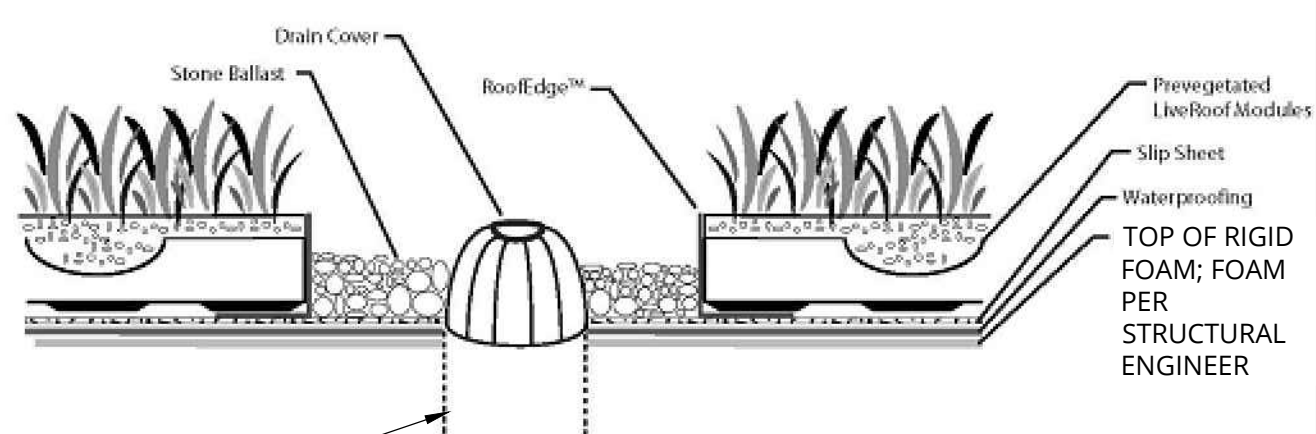
DRAIN APPLICATION
Using Roof Edge™ and Stone Ballast

TOP VIEW



- NOTES:
- DRAIN COVER TO BE BLACK
 - GRAVEL SURROUNDING DRAIN TO BE BLACK MEXICAN PEBBLE TO MATCH PERIMETER OF LIVEROOF PLANTER

SIDE VIEW



DRAIN COMPONENTS AND FLASHING SHOULD BE INSTALLED ACCORDING TO MANUFACTURER INSTRUCTION.

NOT TO SCALE

LiveRoof, LLC
P.O. Box 533
Spring Lake, MI 49456
(800) 875-1392
www.liveroof.com



2 LIVEROOF DRAIN

1" = 1"

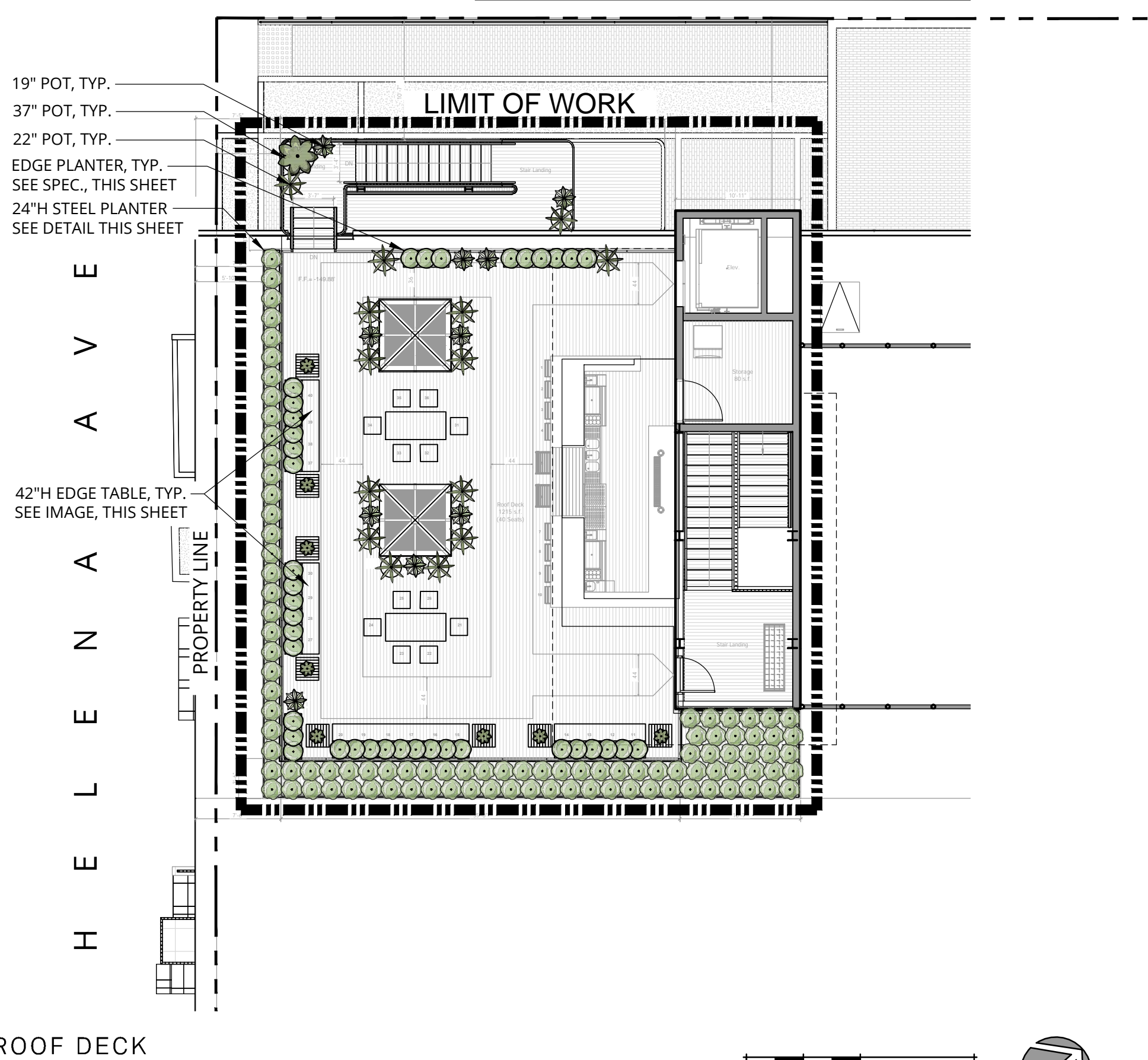
P-2016-HAR-02

EDGE TABLE:

MODEL: CUSTOM, INTEGRAL W/ PLANTER OR RAILING
SIZE: 42"H X 18"W X 96"L
MTRL: WOOD & ALUMINUM (OR STEEL)



POTS & PLANTERS:



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SUNSTONE PRELIMINARY LANDSCAPE PLAN - ROOF DECK

16.5 & 20 Helena Ave.
Santa Barbara, CA 93103



REVISIONS	
09/04/20 CDP Submittal	
12/15/20 DART #2	
03/17/21 DART #3	

PROJECT NUMBER	2016
DRAWN BY	NH
DATE DRAWN	08/11/20
SCALE	1"=10'-0"
PRINT DATE	3/17/21

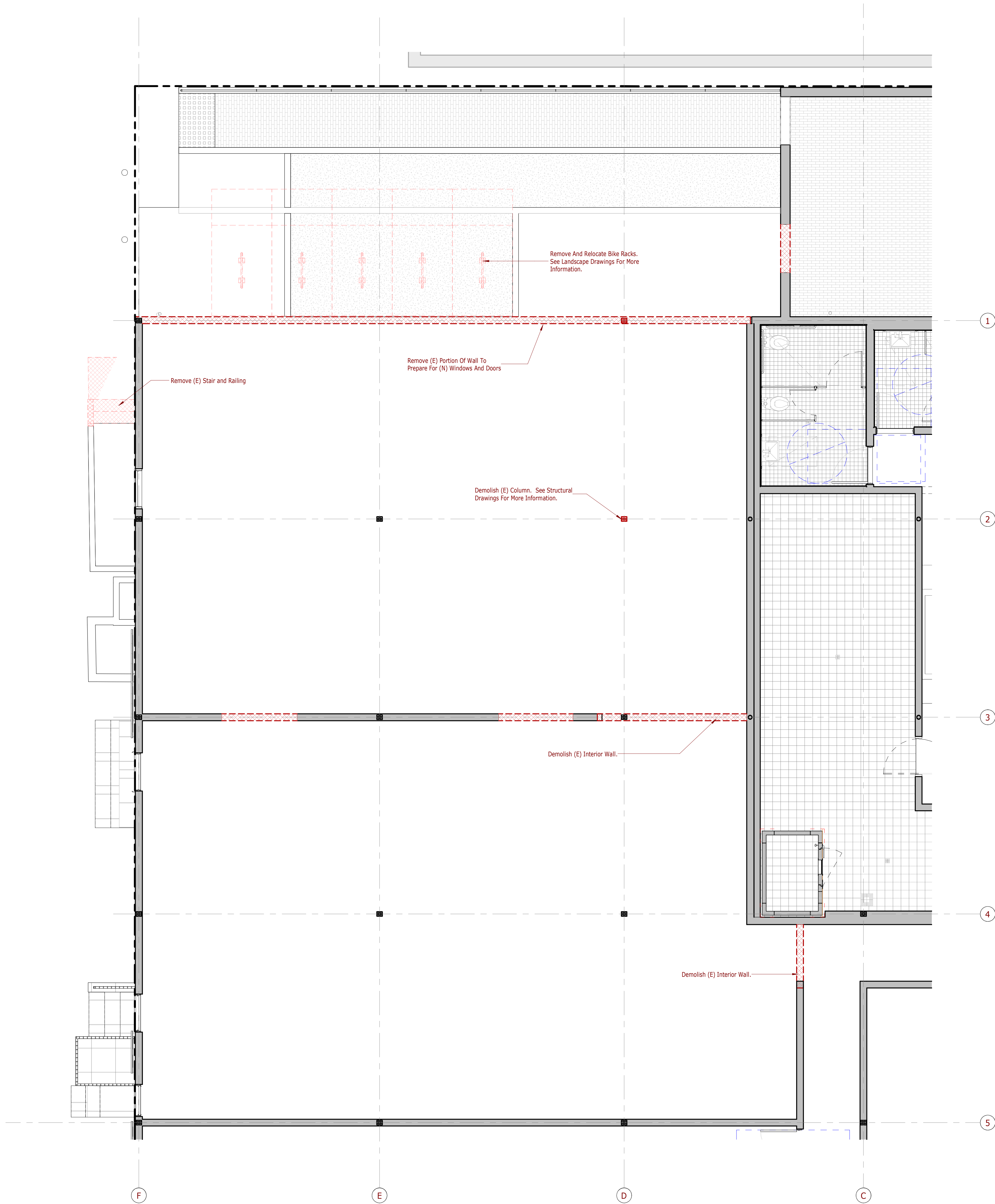
SHEET NUMBER
L-2



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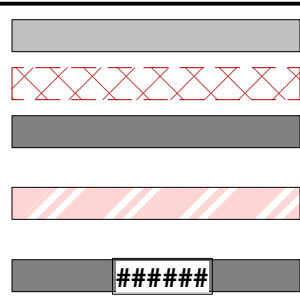


EXISTING/DEMO - FIRST FLOOR PLAN
1/4" = 1'-0"

01

LEGEND

- EXISTING TO REMAIN
- EXISTING TO BE DEMOLISHED
- NEW CONSTRUCTION
- 1 HOUR RATED PARTITION
- TYPICAL WALL TYPE (SEE A701)



SEE G002 FOR SYMBOLS & ABBREVIATIONS
SEE G701 FOR TYPICAL SIGN TYPES

Sunstone

16.5 & 20 Helena Ave.
Santa Barbara, CA 93103

PROJECT #: 20C102

NO.	DESCRIPTION	DATE
1	CDP Submittal	09/04/2020
2	DART Submittal	01/05/2021
3	ABR Concept	02/05/2021
4	DART Submittal	03/16/2021
5	Completeness	05/03/2021
6	ABR Revised Concept	10/18/2021
7	ABR PDA	01/03/2022

A101

EXISTING/DEMOLITION
FLOOR PLAN

SCALE = 1/4" = 1'-0"



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REGISTERED ARCHITECT

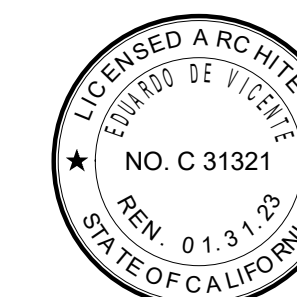
EXERCISES DE TITULO

NO. C 31321

REN 01-31-18

STATE OF CALIFORNIA

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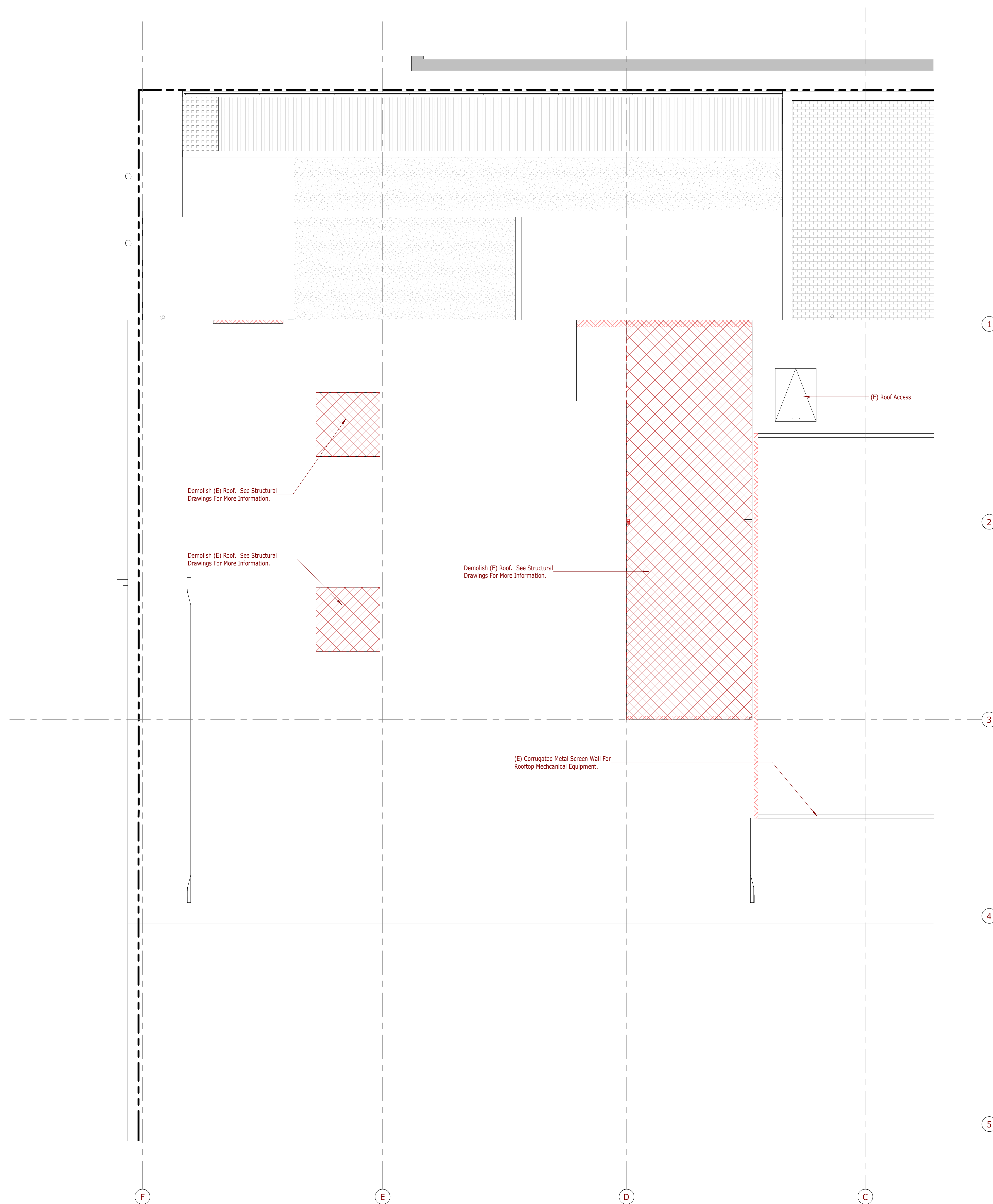
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Santa Barbara, CA 93103

PROJECT #: 20C102

NO.	DESCRIPTION	DATE
	CDP Submittal	09/04/2020
	DART Submittal	01/05/2021
	ABR Concept	02/05/2021
	DART Submittal	03/16/2021
	Completeness	05/03/2021
	ABR Revised Concept	10/18/2021
	ABR PDA	01/03/2022

EXISTING / DEMOLITION ROOF PLAN

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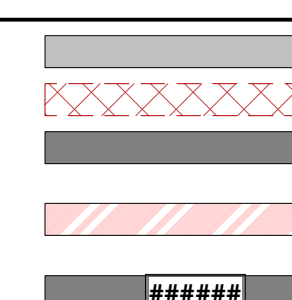


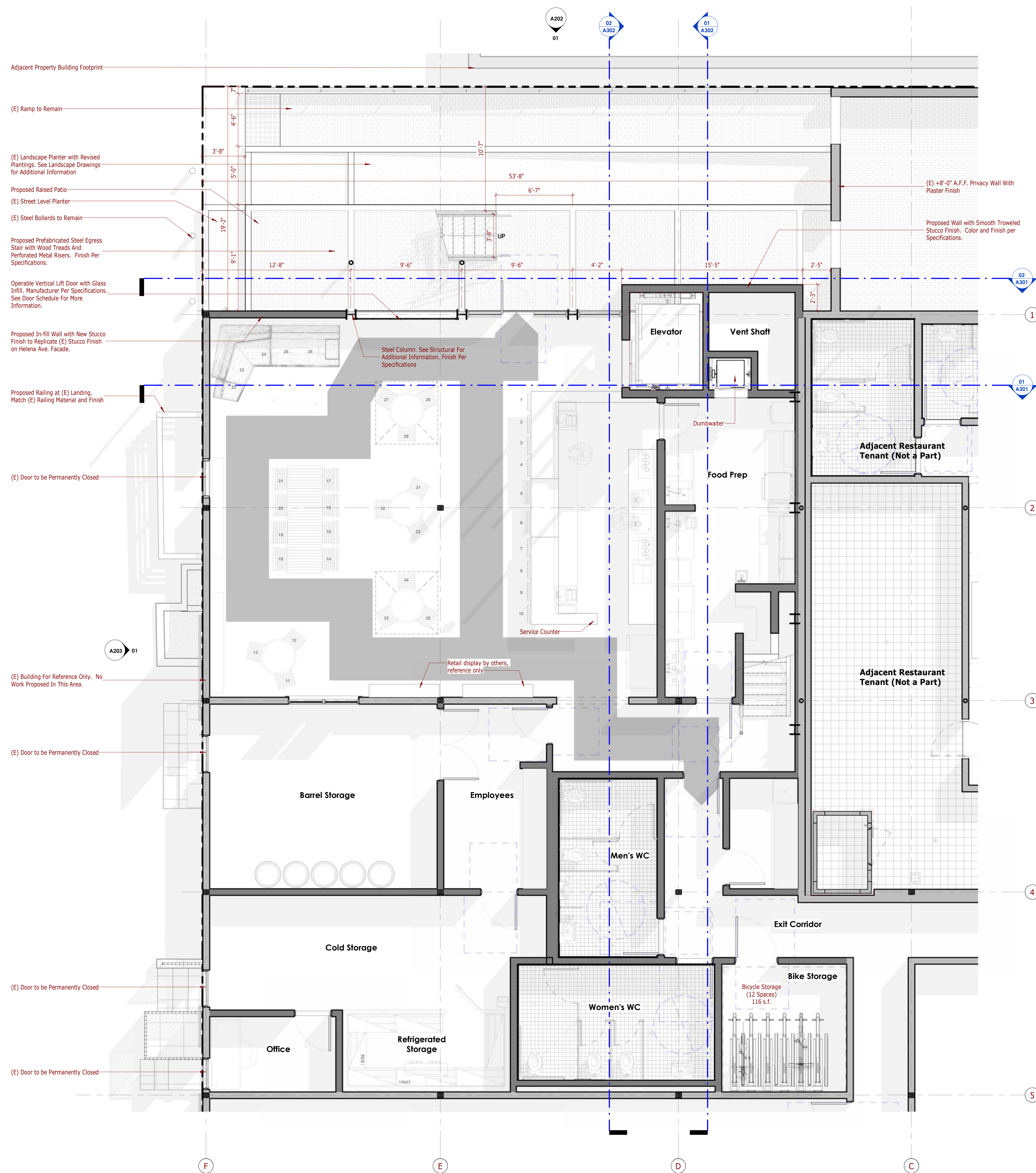
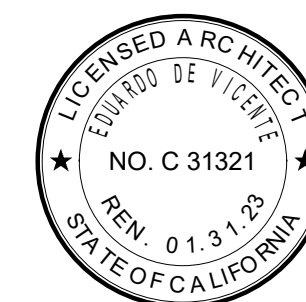
EXISTING/DEMO - ROOF PLAN
1/4" = 1'-0"



EXISTING TO REMAIN
EXISTING TO BE DEMOLISHED
NEW CONSTRUCTION
1 HOUR RATED PARTITION
TYPICAL WALL TYPE (SEE A701)

SEE G002 FOR SYMBOLS & ABBREVIATIONS
SEE G701 FOR TYPICAL SIGN TYPES





EXISTING TO REMAIN
EXISTING TO BE DEMOLISHED
NEW CONSTRUCTION

1 HOUR RATED PARTITION

TYPICAL WALL TYPE (SEE A701)

SEE G002 FOR SYMBOLS & ABBREVIATIONS
SEE G701 FOR TYPICAL SIGN TYPES

16.5 & 20 Helena Ave.
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PROJECT #: 20C102

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	CDP Submittal	09/04/2020
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	DART Submittal	03/16/2021
	Completeness	05/03/2021
	ABR Revised Concept	10/18/2021
	ABR PDA	01/03/2022

A103

PROPOSED FLOOR PLAN

NO.	DESCRIPTION	DATE
	CDP Submittal	09/04/2020
	DART Submittal	01/05/2021
	ABR Concept	02/05/2021
	DART Submittal	03/16/2021
	Completeness	05/03/2021
	ABR Revised Concept	10/18/2021
	ABR PDA	01/03/2022

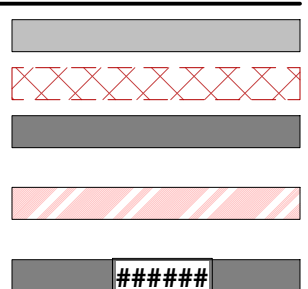
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0	1	2	4
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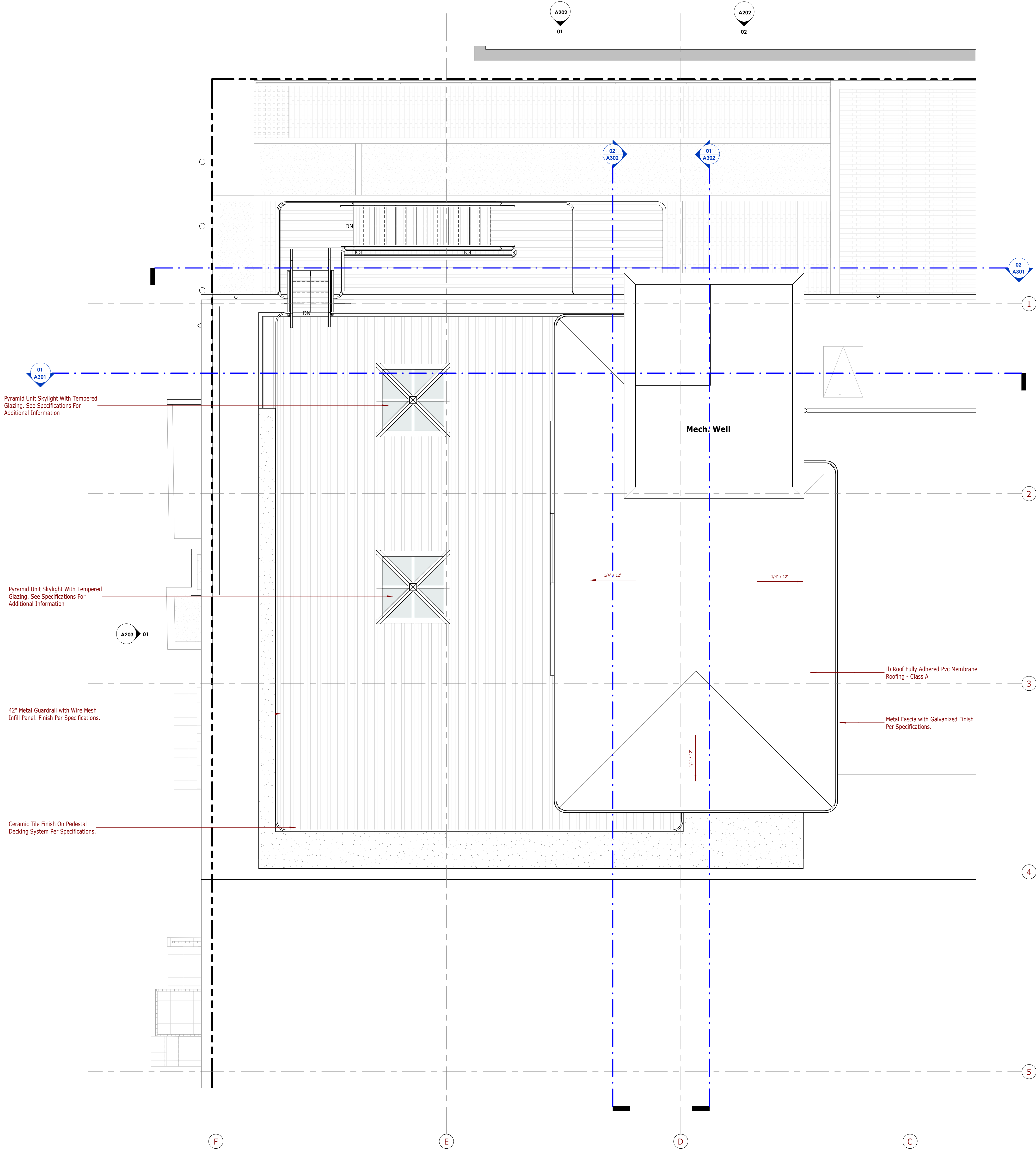
ROOF DECK FLOOR PLAN
1/4" = 1'-0"

01

SEE G002 FOR SYMBOLS & ABBREVIATIONS
SEE G701 FOR TYPICAL SIGN TYPES



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PROPOSED ROOF PLAN
1/4" = 1'-0"
01

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REGISTERED ARCHITECT

EXERCISES DE TITULO

NO. C 31321

REN. 01-31-19

STATE OF CALIFORNIA

Sunstone

16.5 & 20 Helena Ave.

Santa Barbara, CA 93103

PROJECT #: 20C102

NO. DESCRIPTION DATE

CDP Submittal 09/04/2020

DART Submittal 01/05/2021

ABR Concept 02/05/2021

DART Submittal 03/16/2021

Completeness 05/03/2021

ABR Revised Concept 10/18/2021

ABR PDA 01/03/2022

A105

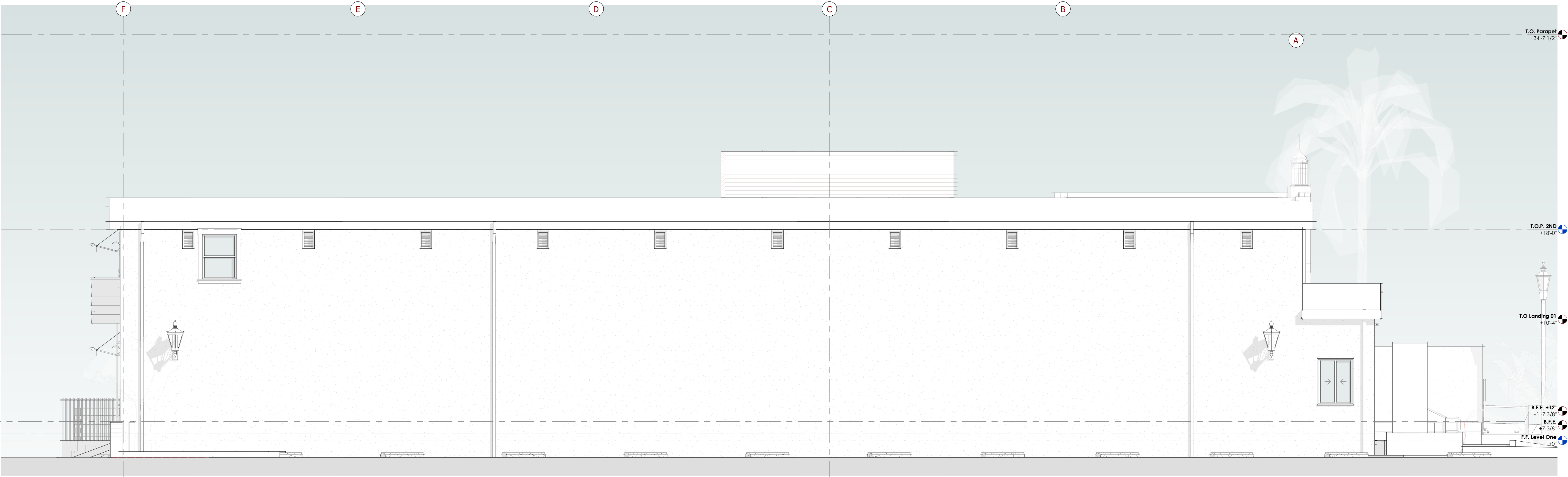
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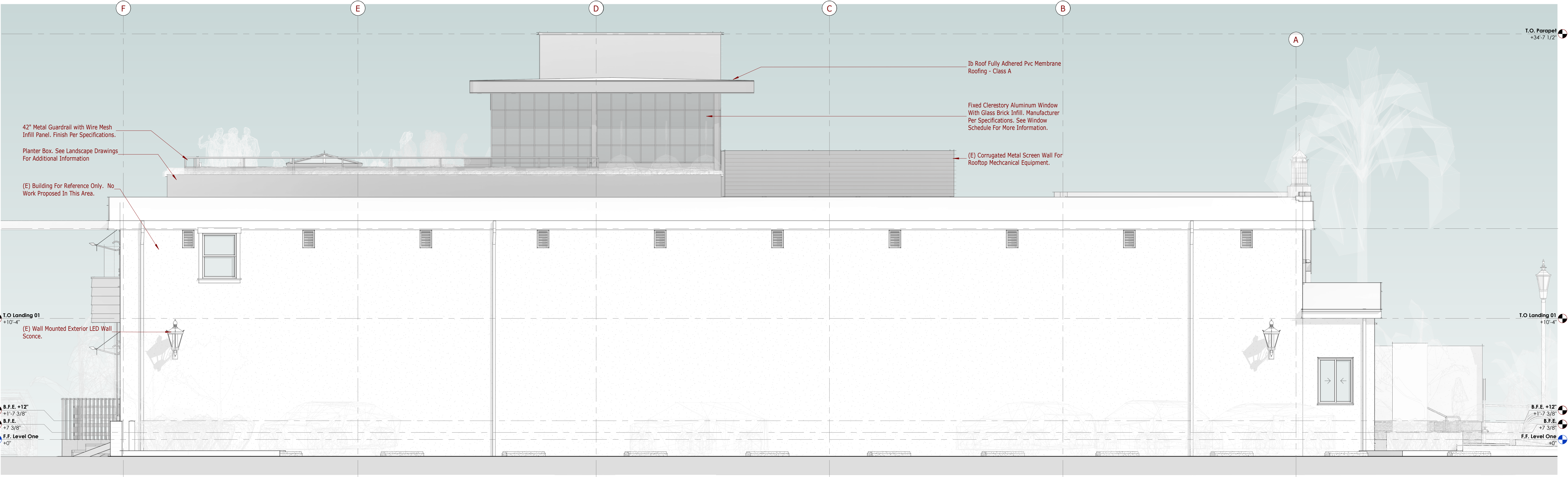
0 1 2 4

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NO DEMOLITION TO ELEVATION PROPOSED



EXISTING SOUTH ELEVATION
1/4" = 1'-0" 02



PROPOSED SOUTH ELEVATION
1/4" = 1'-0" 01

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PROJECT #: 20C102

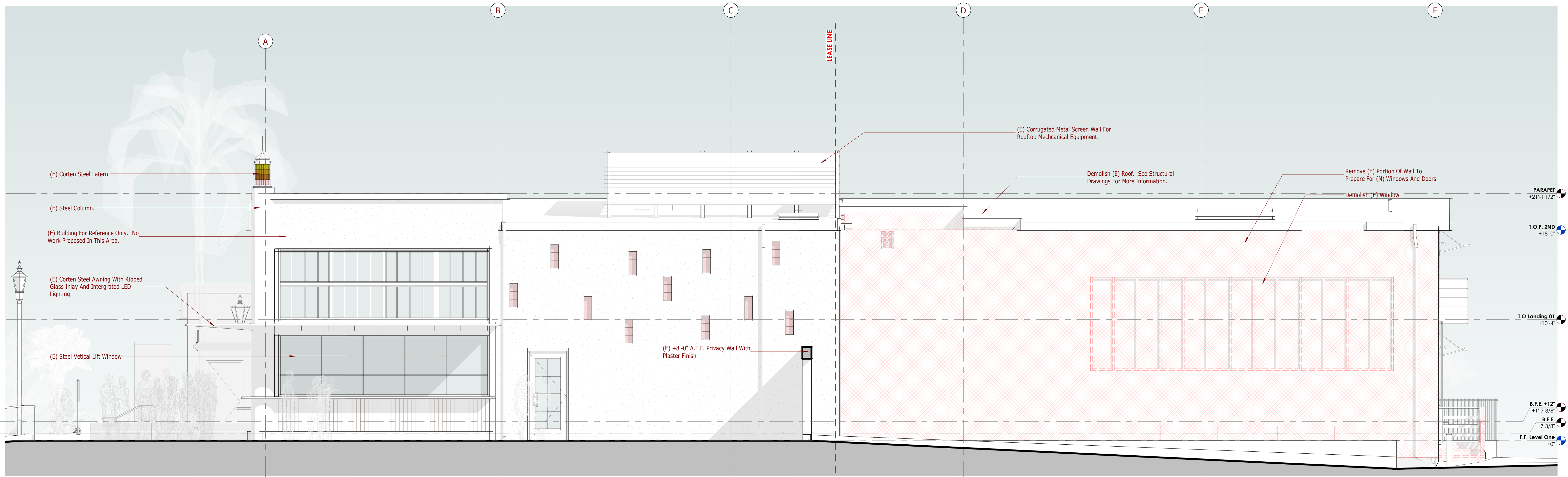
NO.	DESCRIPTION	DATE
	CDP Submittal	09/04/2020
	DART Submittal	01/05/2021
	ABR Concept	02/05/2021
	DART Submittal	03/16/2021
	Completeness	05/03/2021
	ABR Revised Concept	10/18/2021
	ABR PDA	01/03/2022

A201
EXTERIOR ELEVATIONS

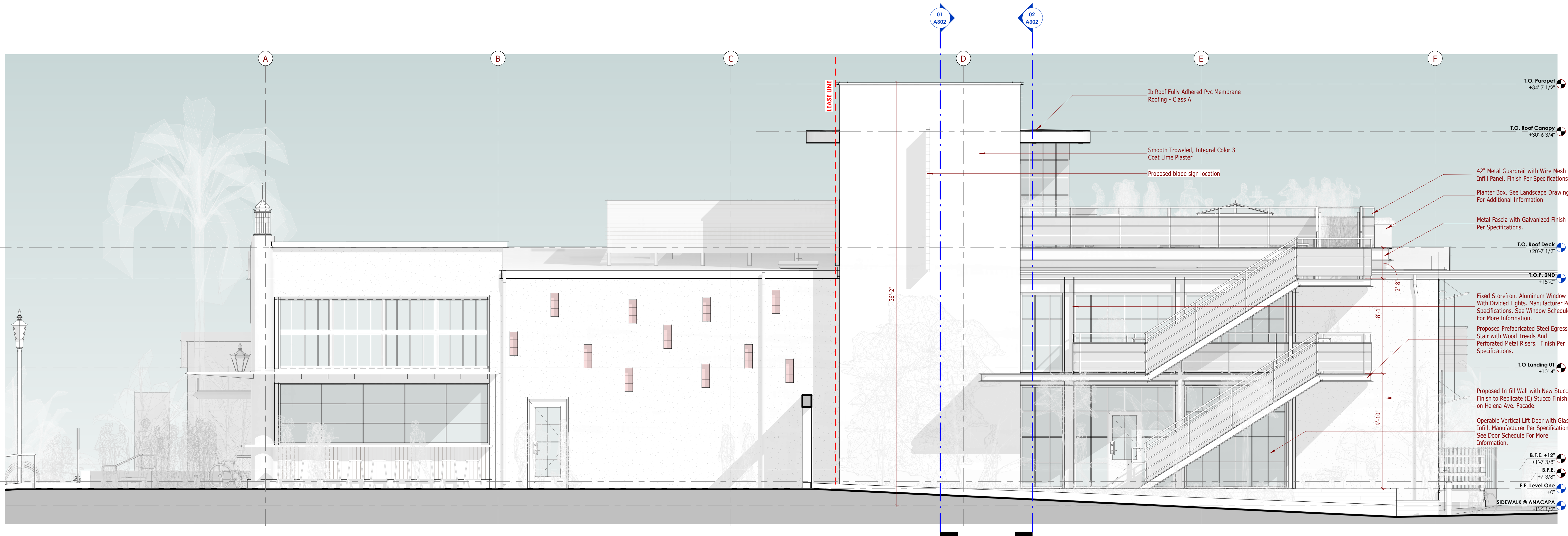
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EXISTING/DEMO NORTH ELEVATION 02
1/4" = 1'-0"



PROPOSED NORTH ELEVATION 01
1/4" = 1'-0"



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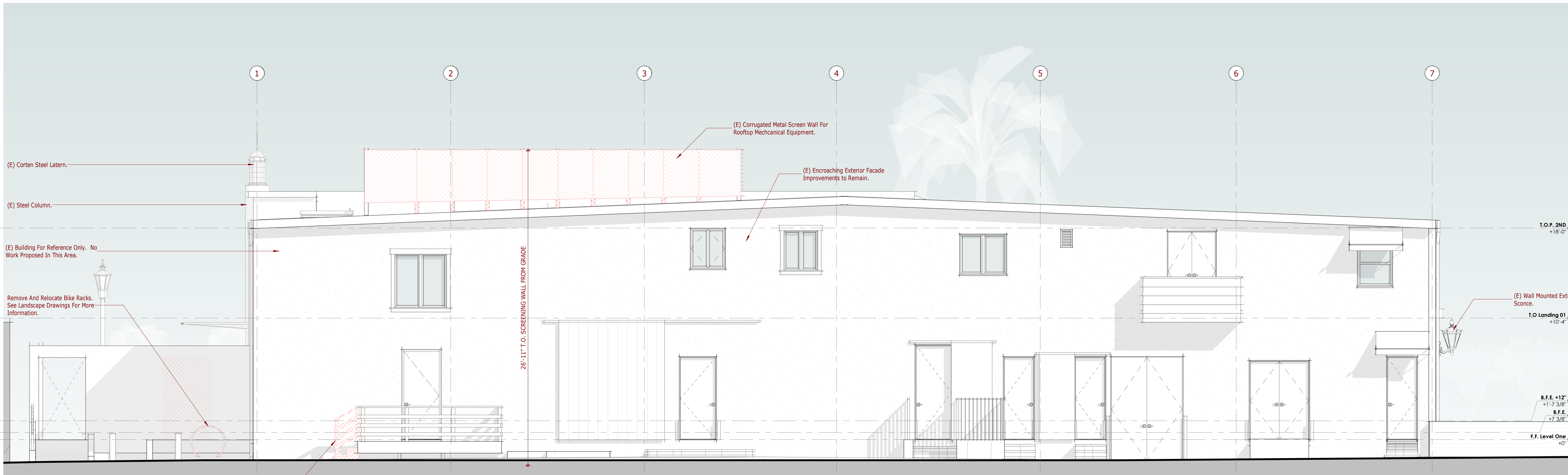
NO.	DESCRIPTION	DATE
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ABR PDA		01/03/2022

A202

EXTERIOR ELEVATIONS

SCALE = 1/4" = 1'-0"

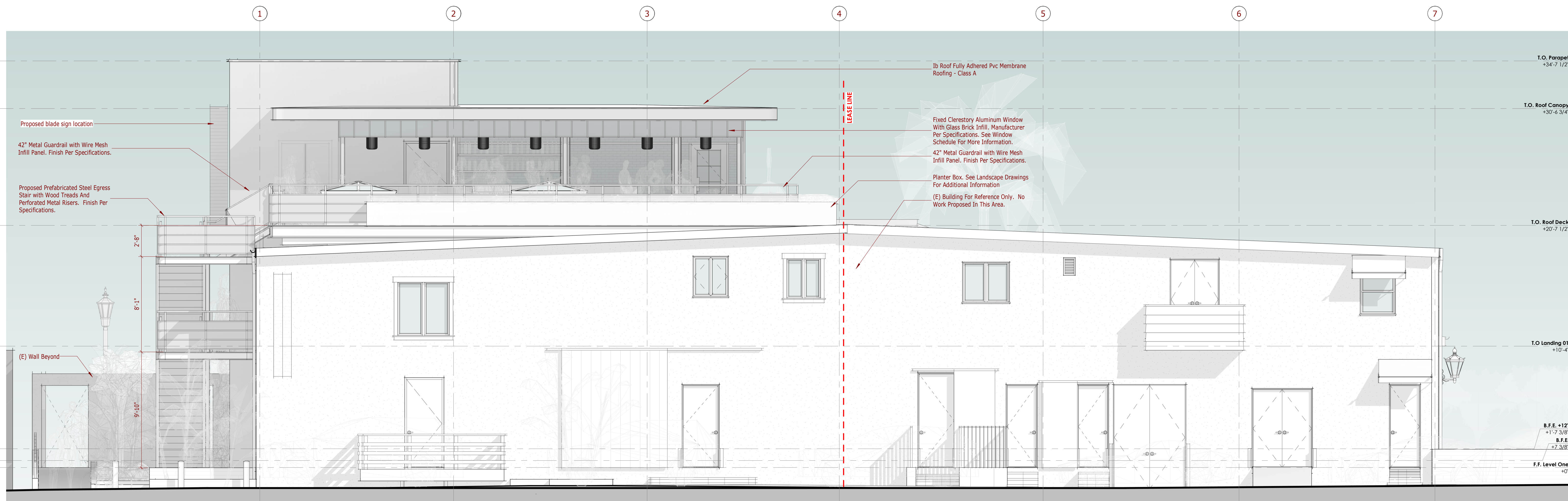
NOT FOR CONSTRUCTION



EXISTING WEST ELEVATION

1/4" = 1'-0"

1



PROPOSED WEST ELEVATION

1/4" = 1'-0"

01

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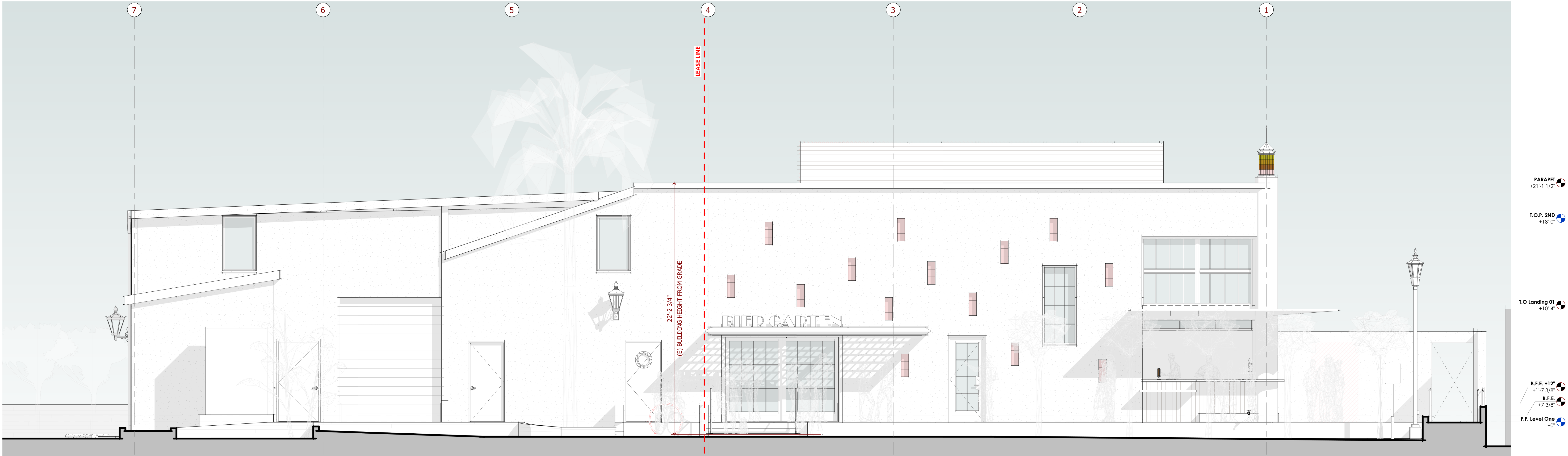
A203

EXTERIOR ELEVATIONS

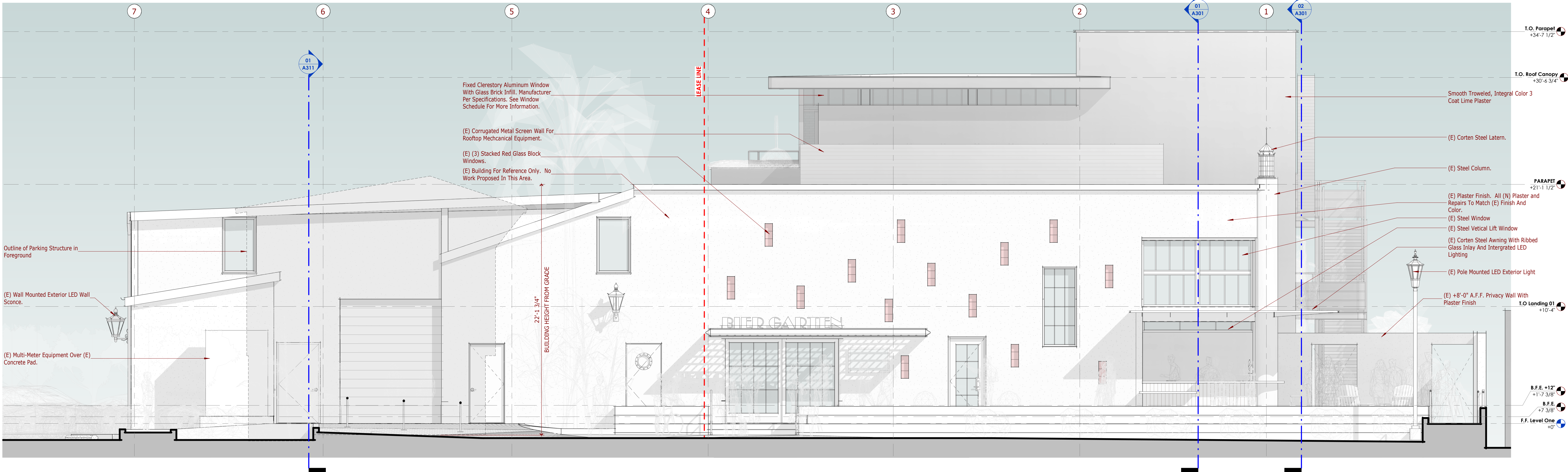
SCALE = 1/4" = 1'-0"

0 1 2 3 4

NO DEMOLITION TO ELEVATION PROPOSED



EXISTING/DEMO EAST ELEVATION 2
1/4" = 1'-0"



PROPOSED EAST ELEVATION 01
1/4" = 1'-0"

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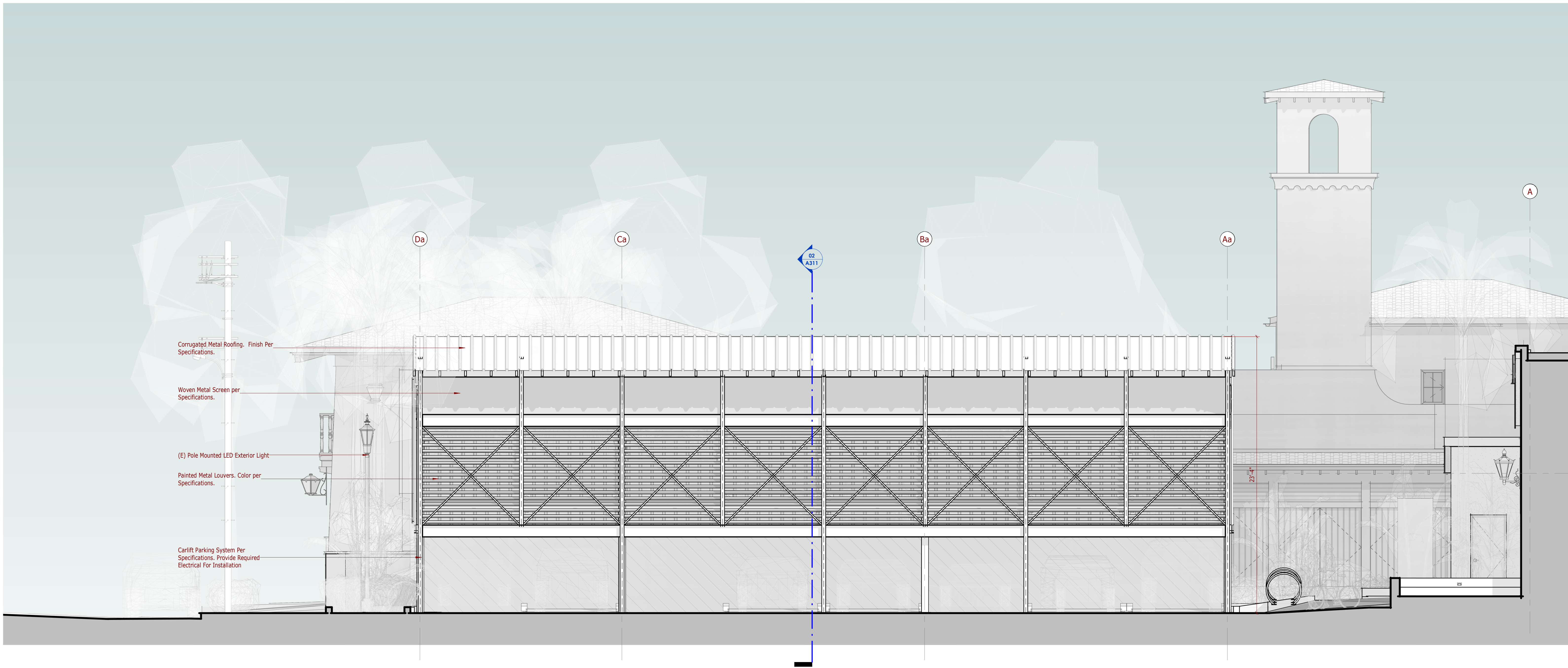
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ABR PDA		01/03/2022

A204
EXTERIOR ELEVATIONS

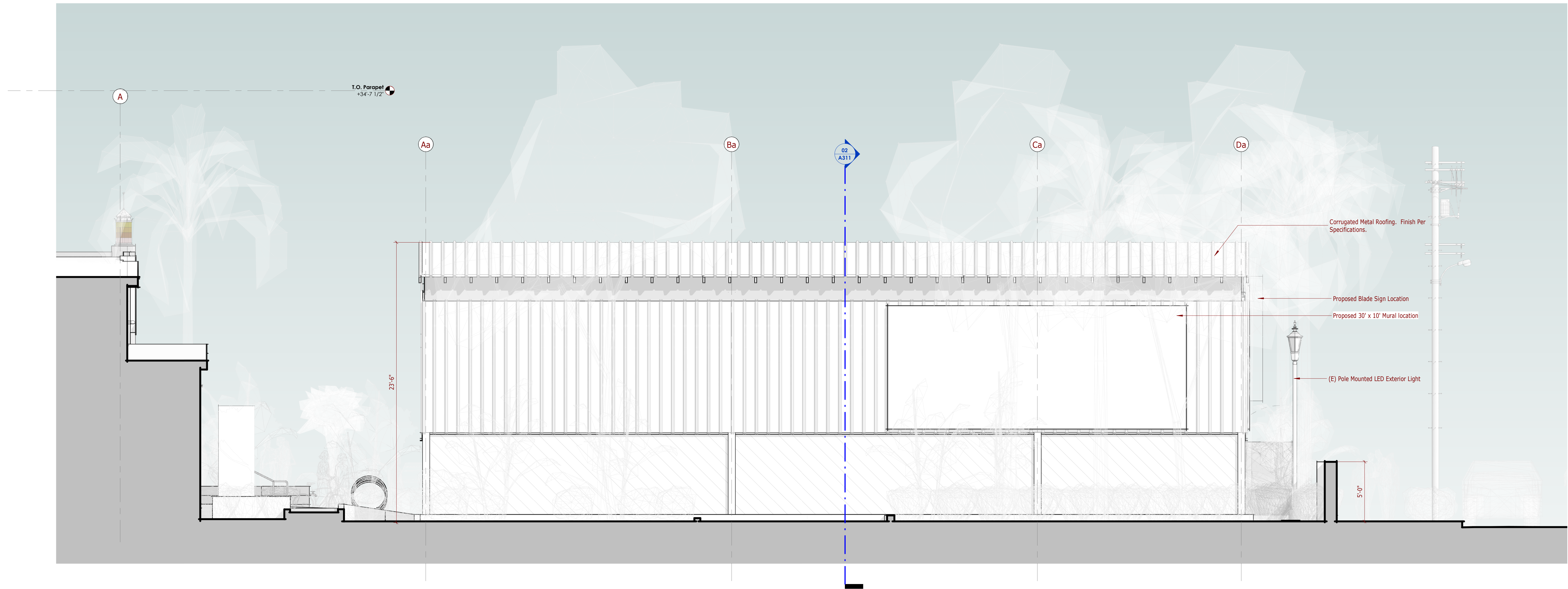
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PROPOSED NORTH ELEVATION
1/4" = 1'-0" 02



PROPOSED SOUTH ELEVATION
1/4" = 1'-0" 01



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A211

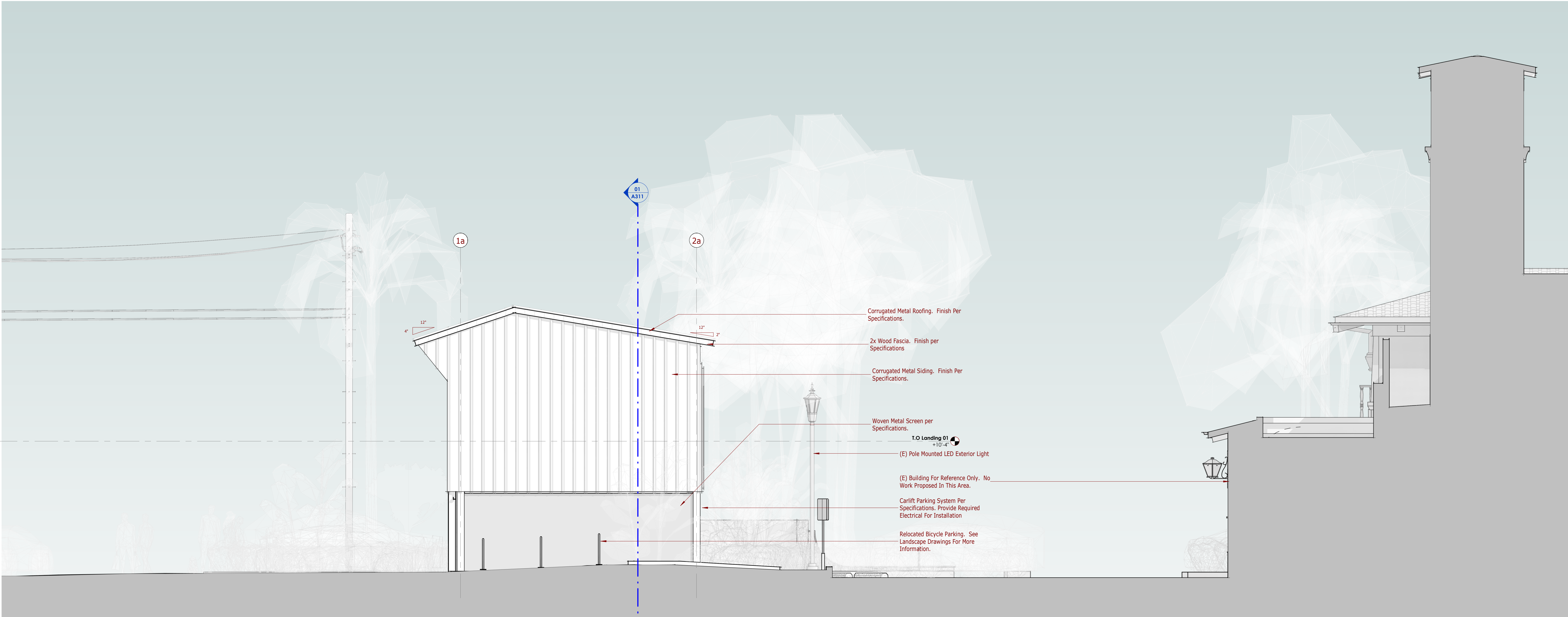
EXTERIOR ELEVATIONS

SCALE = 1/4" = 1'-0"

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PROPOSED EAST ELEVATION 02
1/4" = 1'-0"



PROPOSED WEST ELEVATION 01
1/4" = 1'-0"

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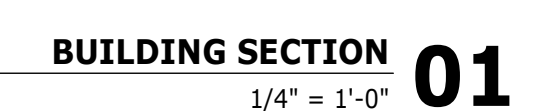
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A212

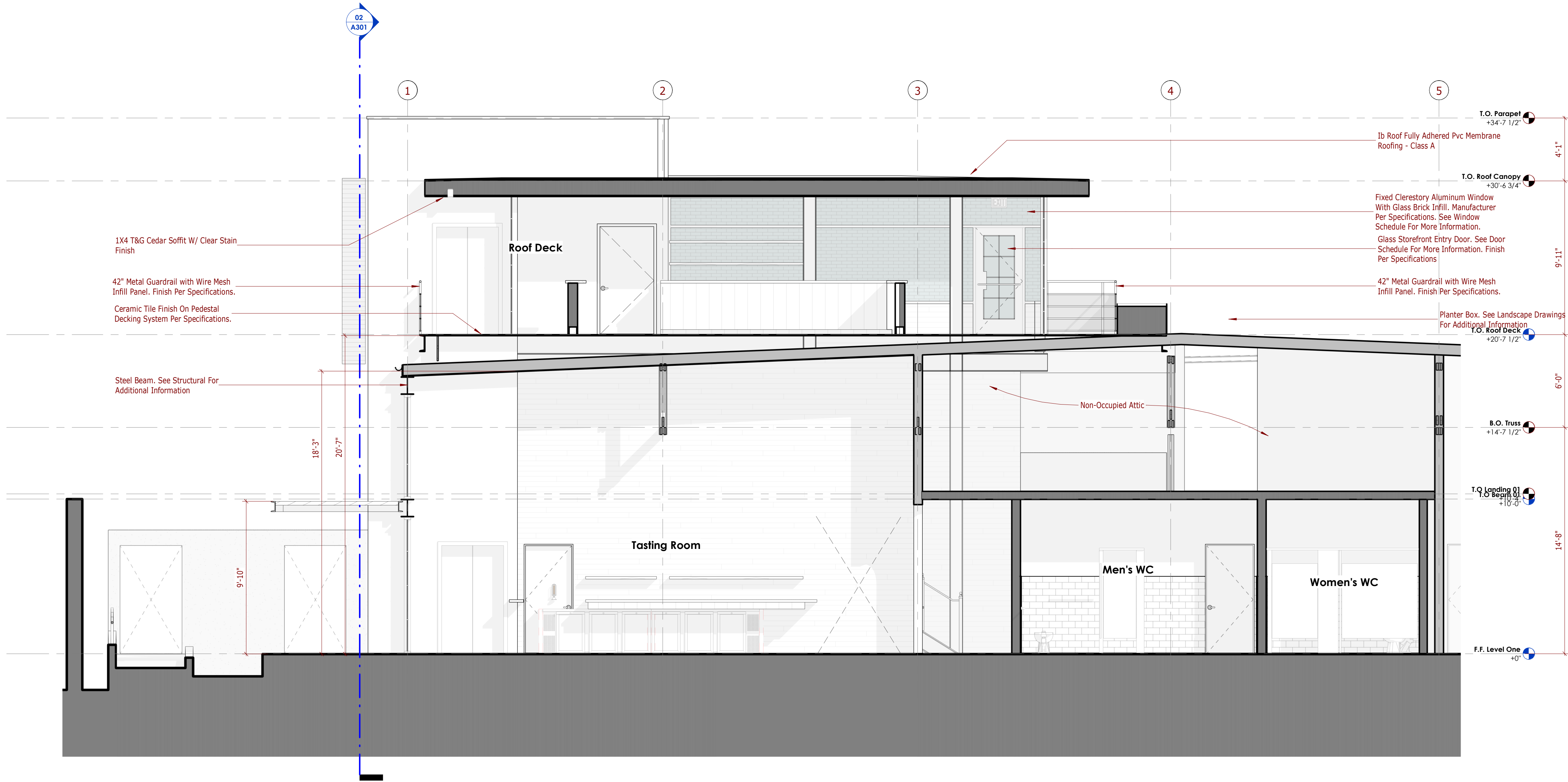
EXTERIOR ELEVATIONS

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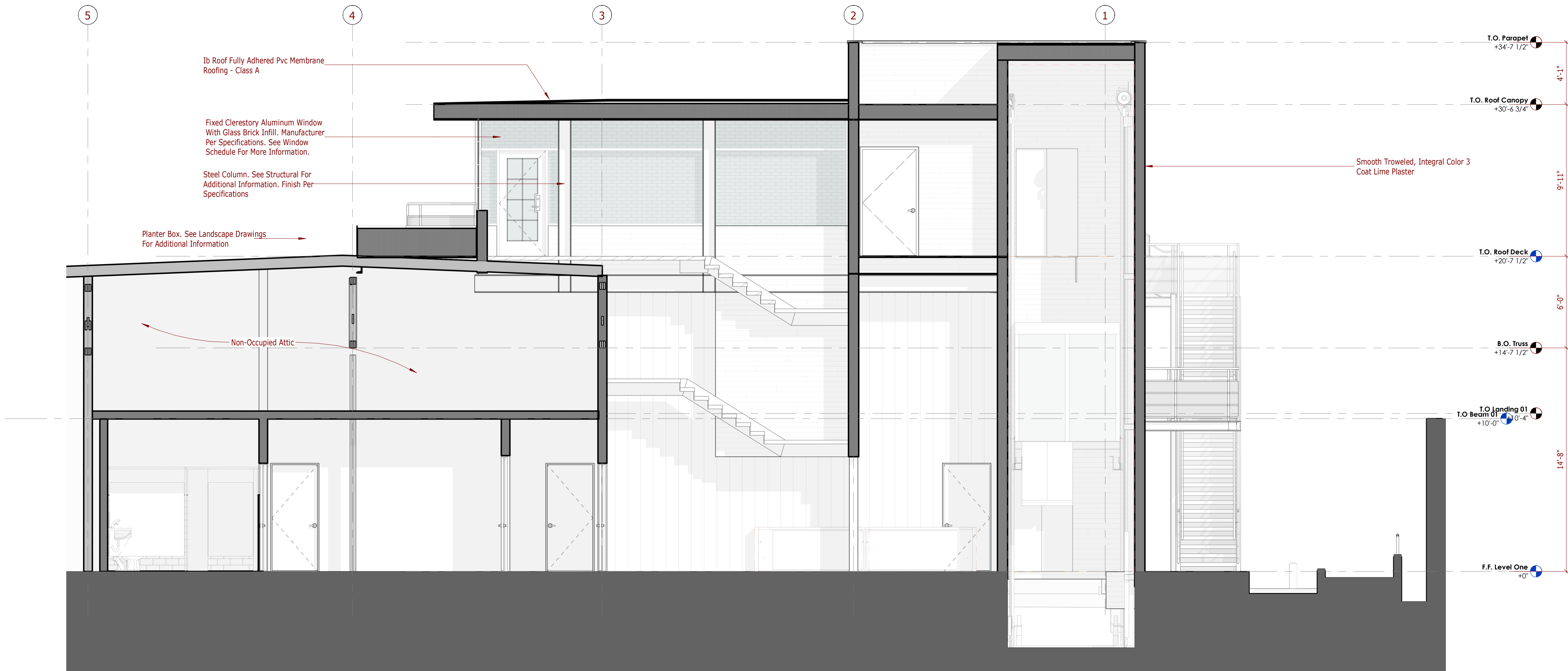
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BUILDING SECTION 02
1/4" = 1'-0"



BUILDING SECTION 01
1/4" = 1'-0"

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A302

BUILDING SECTIONS

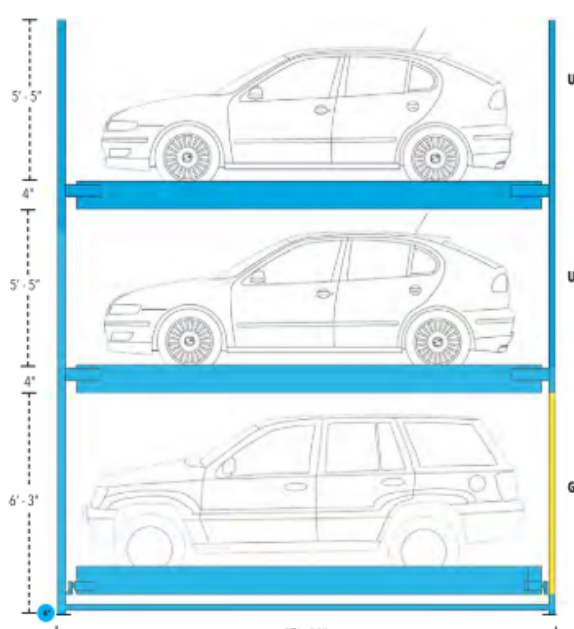
SCALE = 1/4" = 1'-0"

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THREE-LEVEL AND UP

MODEL NO 3LP, 4LP, 5LP, 6LP, 7LP



CAR SIZES	LENGTH	WIDTH
COMPACT	17'-0"	6'-0"
MIDSIZE	17'-0"	6'-6"
FULL-SIZE	17'-0"	6'-6"

HEIGHT OPTIONS	REMARKS	RECOMMENDATIONS
6'-0"	Standard height for most cars.	Recommended for most applications.
6'-6"	Increased height for larger cars.	Recommended for applications requiring larger cars.
6'-10"	Increased height for SUVs and trucks.	Recommended for applications requiring SUVs and trucks.

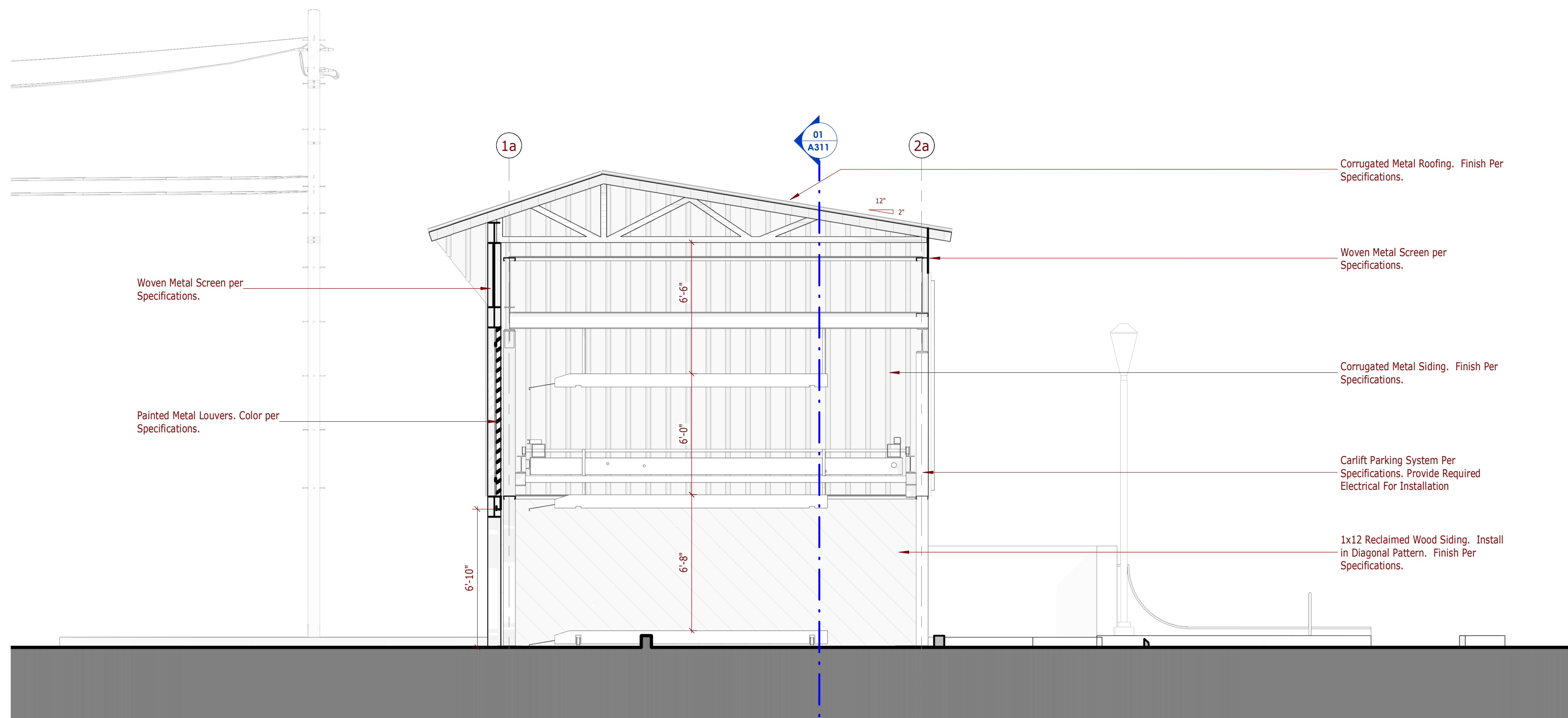
- NOTES:
- Recommended car sizes are listed above.
 - Additional cars can be accommodated. See Car Sizes page.
 - Each dimension has a tolerance of: 1/2" for length, 1/4" for width, and 1/2" for height.
 - Recommended 4" depressed slab if doing ground level installation for flat driving area platform.
 - Usable space dimensions will not change for flat pilotes.
 - Rampers bar needs to be able to be moved. Pre-drilled holes as one solution.
 - 4" needed from rear column to wall face.

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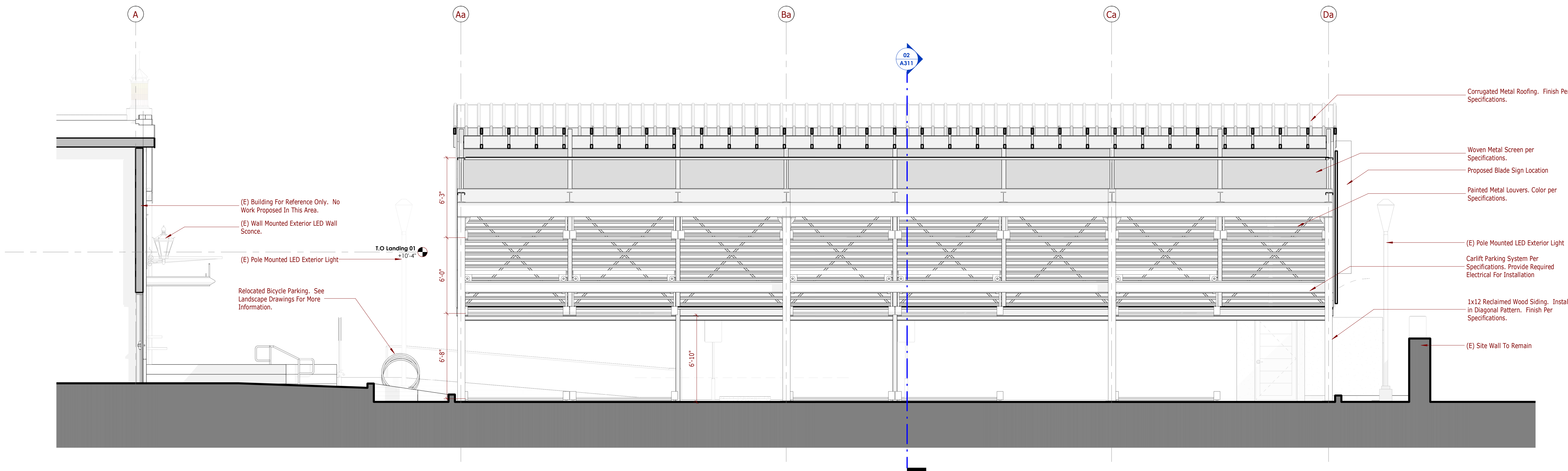
PUZZLE LIFT SPECIFICATIONS 03

12" = 1'-0"



CAR PARKER SECTION 02

1/4" = 1'-0"



CAR PARKER SECTION 01

1/4" = 1'-0"

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A311
CAR PARKER SECTIONS

SCALE = 1/4" = 1'-0"

0 1 2 4

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EXERCISES DE TITULO

NO. C 31321

EXP. 01/31/25

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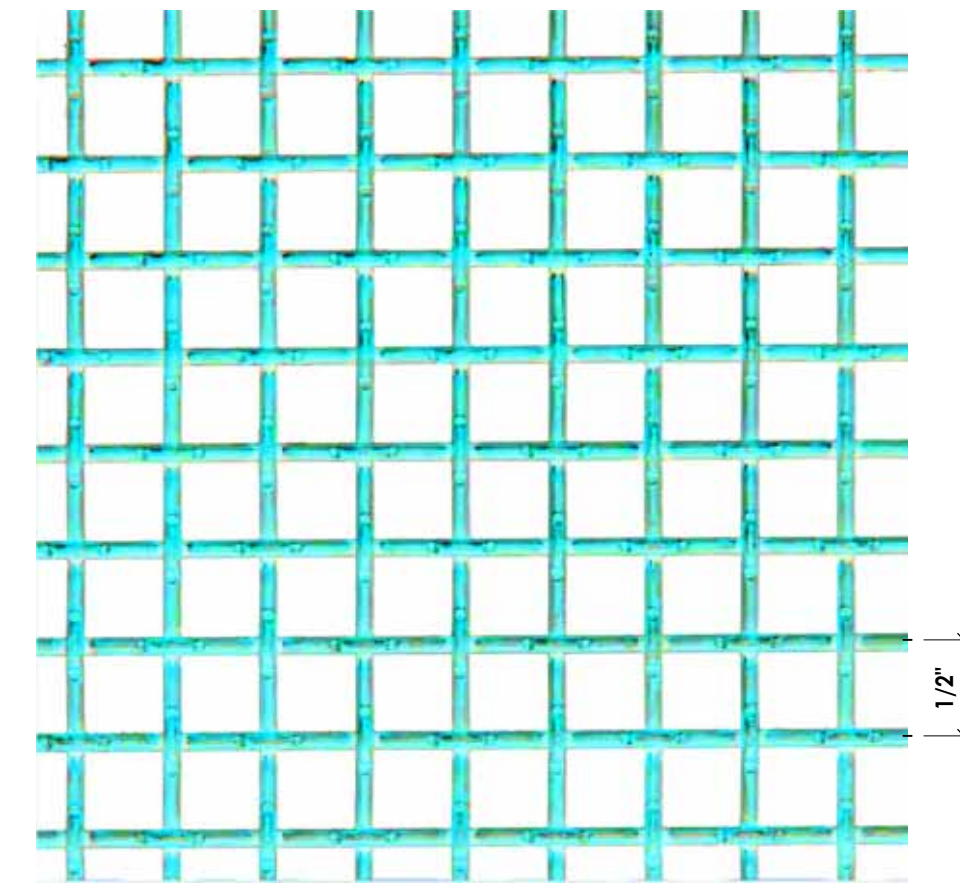
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GRAPHICS

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1/2" x 1/2" Woven Wire Mesh at Stair Railings



Bonderized Metal Finish

- **Metal Fascia & Stair Structure**



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EXERCISES DE TITULO

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PEN. 01-31-19

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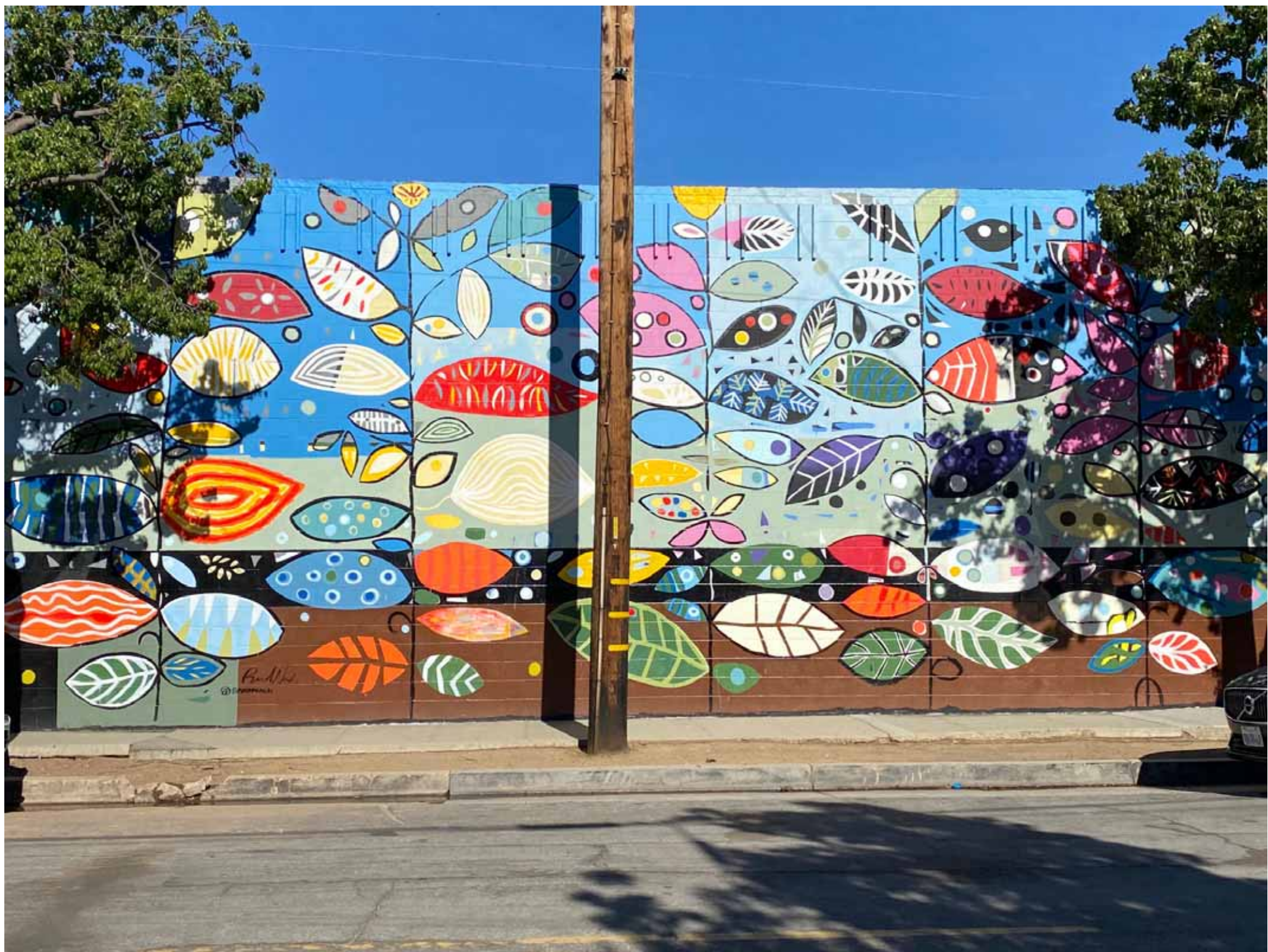
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1	DART Submittal	01/05/2021
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3	DART Submittal	03/16/2021
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5	ABR PDA	01/03/2022

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GRAPHICS

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ABR PDA		01/03/2022

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GRAPHICS

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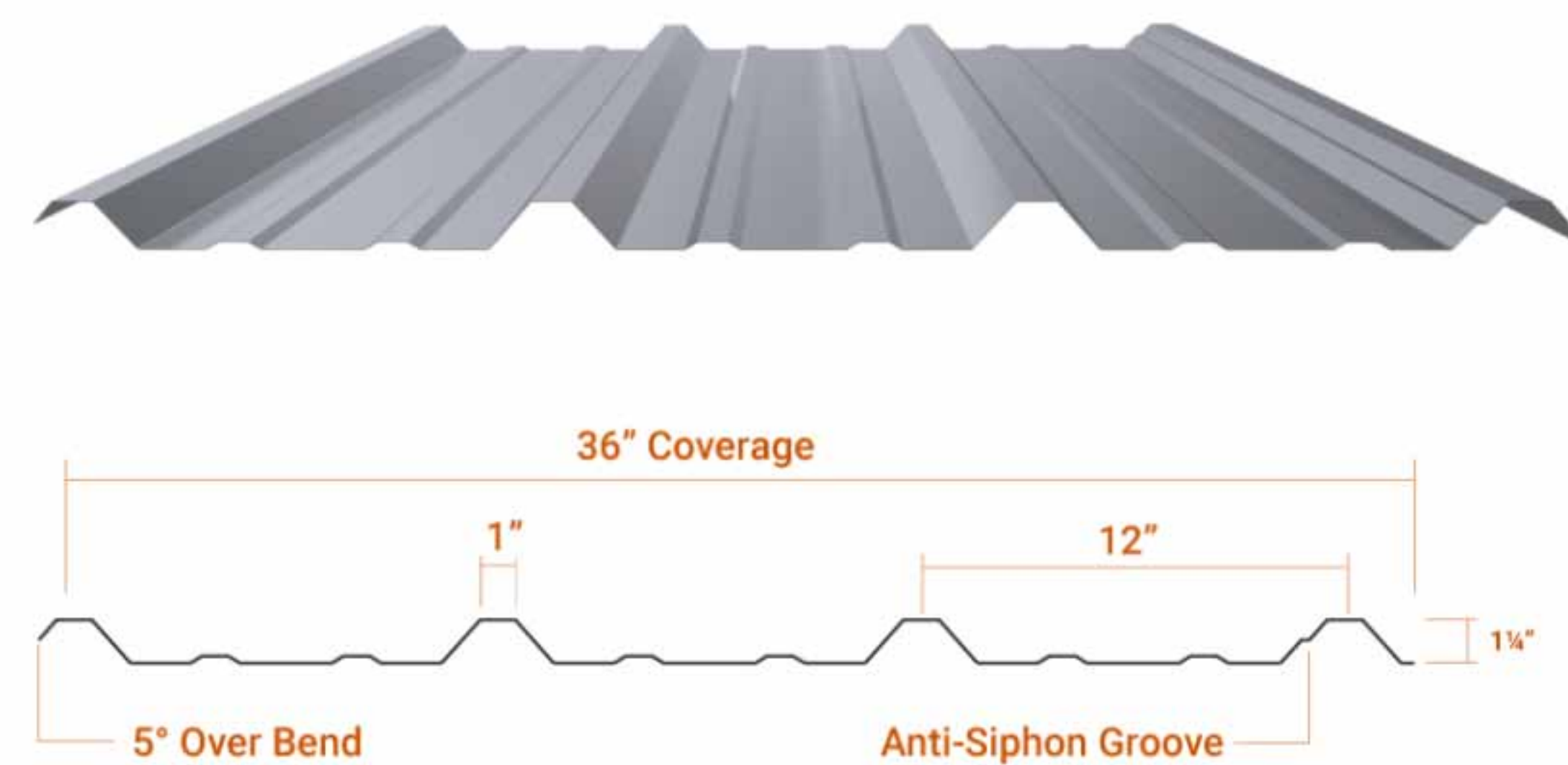
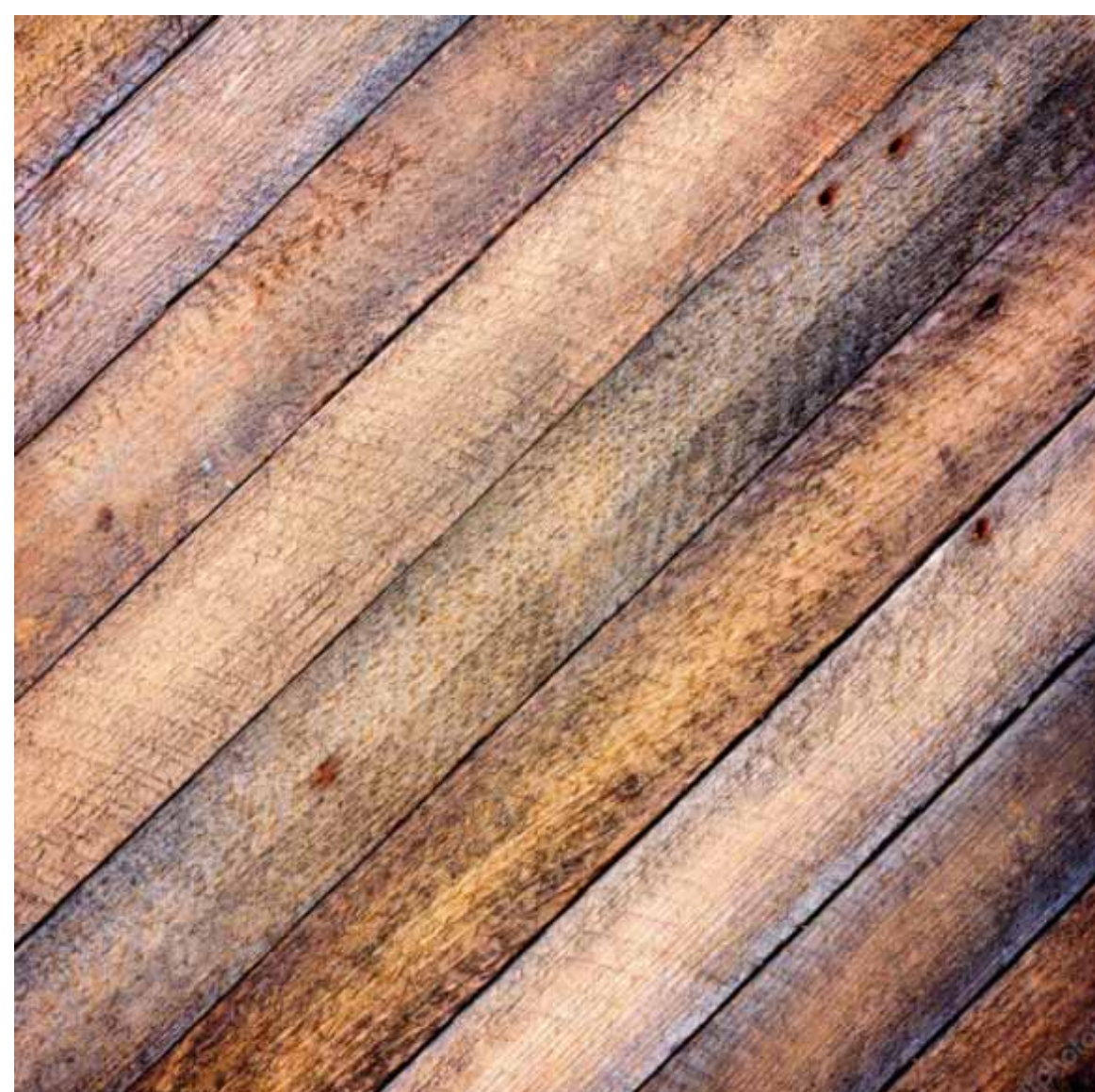
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A805
GRAPHICS

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GRAPHICS

